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BASIX CERTIFICATE # 1349953M_04
NATHERS CERTIFICATE # TBC

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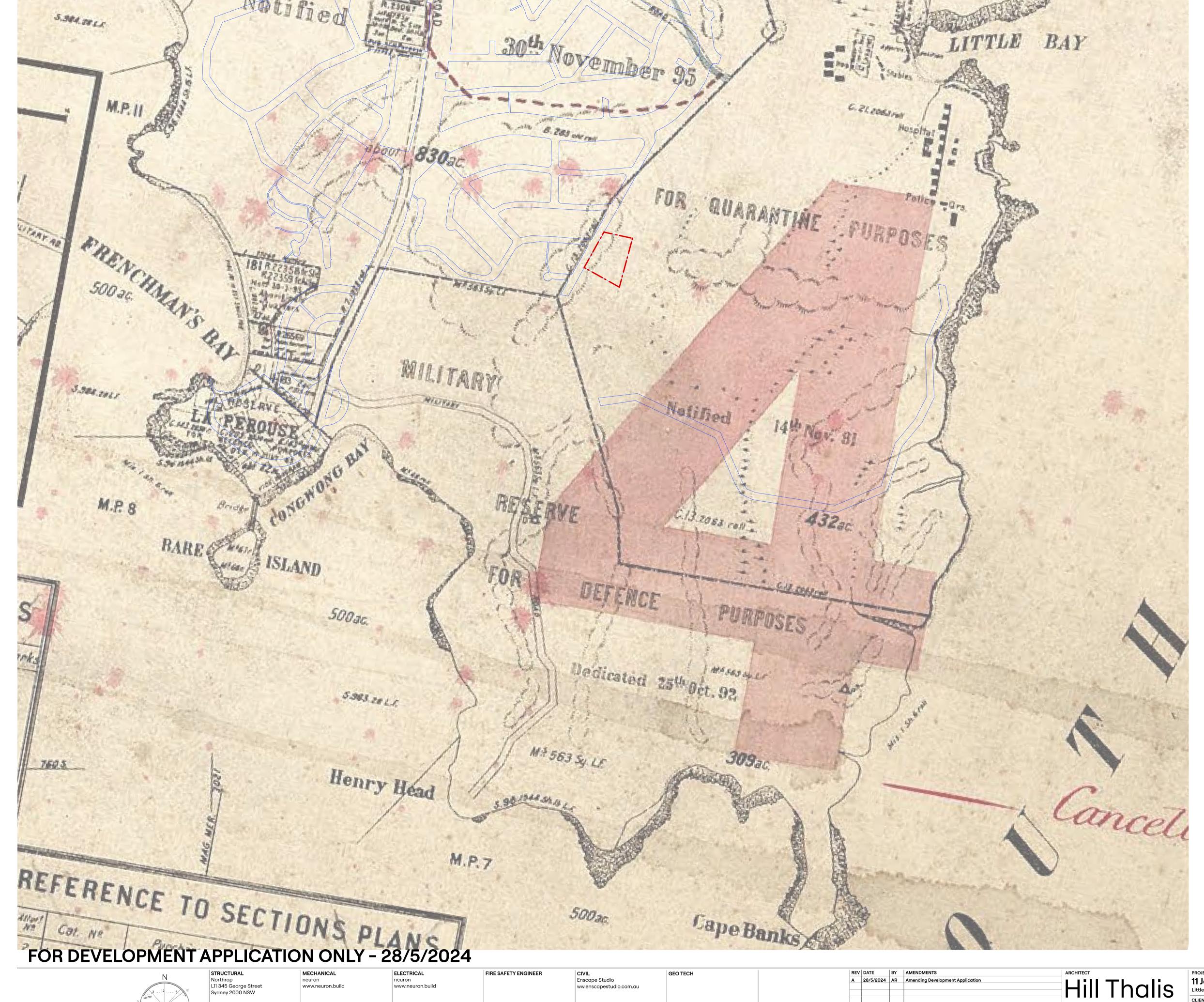
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E-Lab Consulting
Level 11, 10 Carrington St
Sydney NSW 2000

SURVEYOR
RGM Property Surveys
Suite 402, 49 Queens Road
Five Dock NSW 2046

GEO TECH

DATE	BY	AMENDMENTS	ARCHITECT
28/5/2024	AR	Amending Development Application	
1/8/2024	MR	Revision to Amending Development Application	Hill Thal Architecture + Urban Pro
			Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780
			Sarah Hill ARB #5285 Nominated Architects

ROJECT	DRAWING				
1 Jennifer St ittle Bay NSW 2036	Cover Page				
LIENT Irban Property Group	DRAWN MR	PT CHECKED	1/8/2024	JOВ NO 22.2	
AMENDING DEVELOPMENT APPLICATION	1:500	0	A 1.001	REV B	



The Jennifer Street site is situated on Botany Bay's northern headland in relation to the remnant of significant historic subdivision.

This radial boundary pattern occupied the branching point of the ridge - and separated lands for public recreation, from the quarantine hospital lands and a reserve for defence purposes.

Its elevated position with views towards the bay and the coastline made it an obvious location for military structures, the reservoir, and the telecommunications uses that have gathered on and around the site in intervening years.

Its relatively undisturbed environmental character meant that parts of the area have become the Kamay Botany Bay National Park.

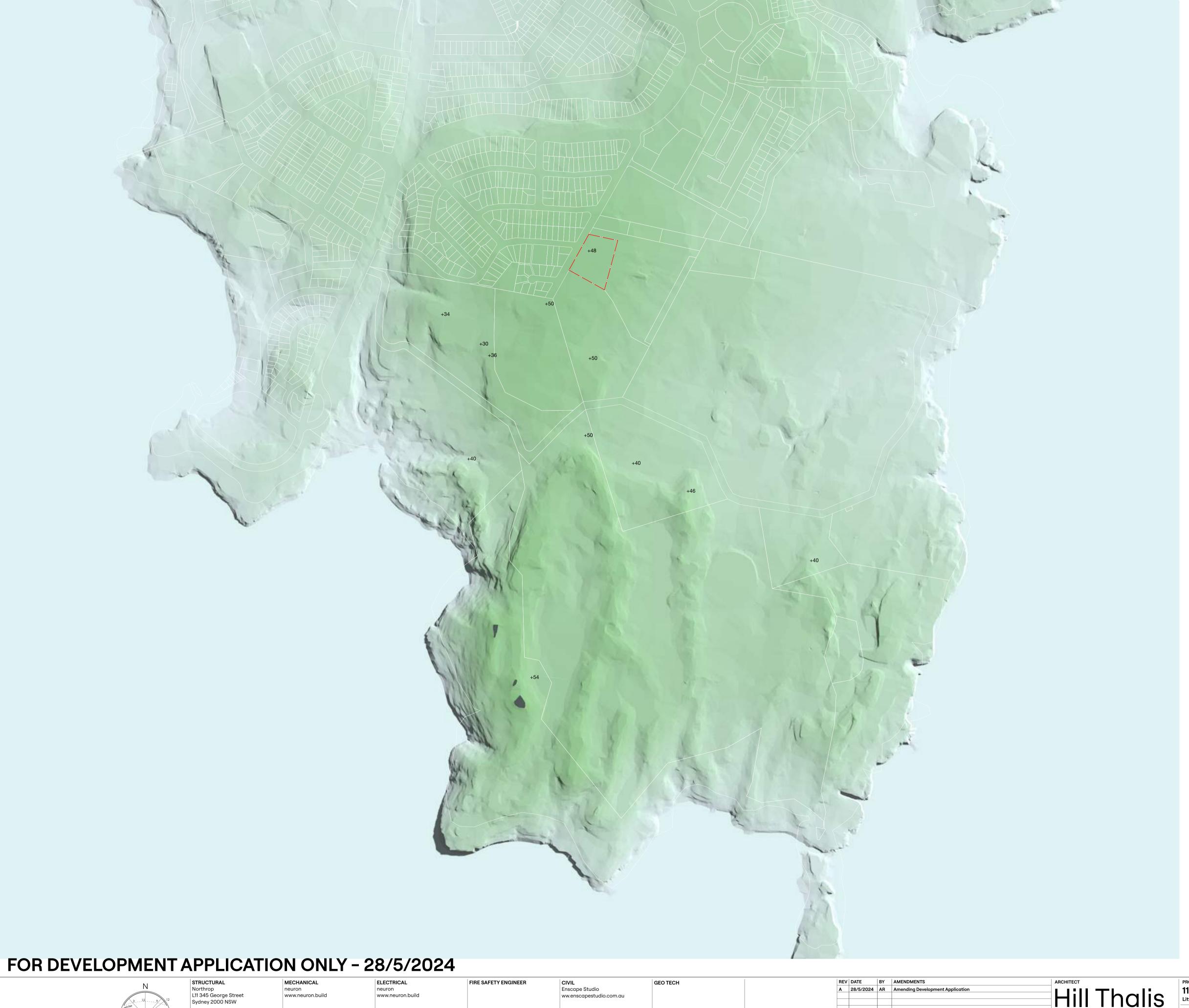
> DEVELOPMENT APPLICATION 489/2024 Randwick City Council 11 June 2024 Records Received

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Northrop L11 345 George Street Sydney 2000 NSW	neuron www.neuron.build	neuron www.neuron.build		Enscape Studio ww.enscapestudio.com.au			A 28/5/2024 AR	Amending Development Application	HII Thali
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney NSW 2000	LANDSCAPE Turf 35 Wellington St Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046			Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285

PROJECT 11 Jennifer St Little Bay NSW 2036	Historical Situation 1886			
CLIENT Urban Property Group	DRAWN AR/LH	CHECKED PT	PLOT DATE 28/5/2024	јов NO 22.27
AMENDING DEVELOPMENT APPLICATION	1:5000)	DRAWING NO A 1.010	REV A



The trident subdivision lines persist in the contemporary urban plan - as does the site's elevated position with its expansive visual catchment.

The site is within a 10 minute walk of public transport, and the facilities at the Prince Henry Hospital site, and Congwong Beach, although the subdivision pattern and topography do not make this an easy walk. Little Bay beach is a little further away.

The recreational areas of Kamay National Park are more accessible via the Jennifer Street boardwalk through the adjacent Eastern Suburbs Banksia Scrub.

At upper levels, development would potentially achieve views towards Port Botany, to Congwong Bay, and expansive views towards the east.

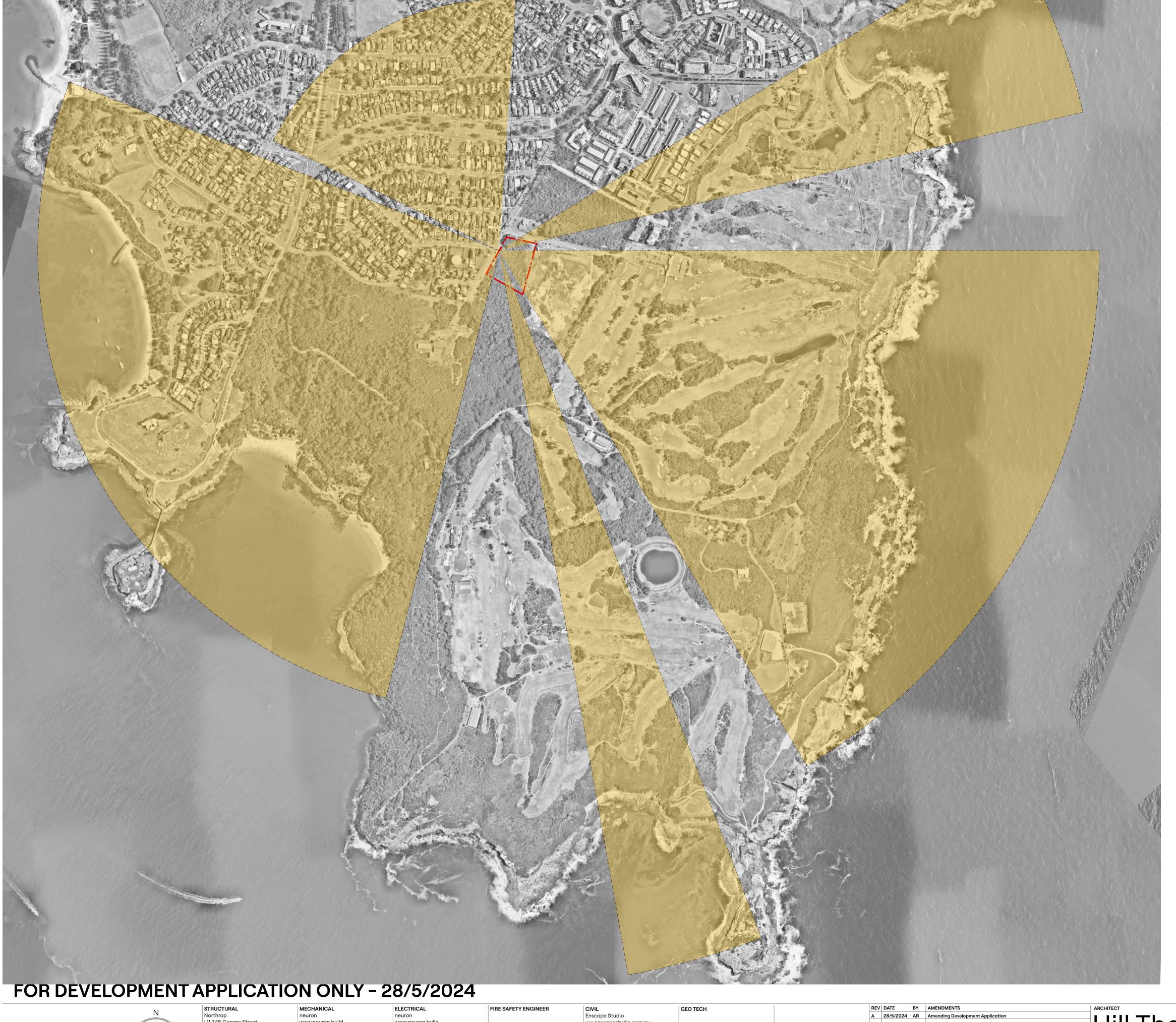
Potentially, a select number of apartments could achieve both bay and ocean outlooks.

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HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	Mckenzie Group L 6 189 Kent St Sydney NSW 2000	LANDSCAPE Turf 35 Wellington St Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046		Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285

PROJECT	DRAWING				
11 Jennifer St Little Bay NSW 2036	Topographic Situation				
CLIENT Urban Property Group	DRAWN AR/LH	PT CHECKED	PLOT DATE 28/5/2024	јов NO 22.27	
AMENDING DEVELOPMENT APPLICATION	1:5000		A 1.011	REV A	



The trident subdivision lines persist in the contemporary urban plan - as does the site's elevated position with its expansive visual catchment.

At upper levels, development would potentially achieve views towards Port Botany, to Congwong Bay, and expansive views towards the east.

Potentially, a select number of apartments could achieve both bay and ocean outlooks.

-- — Boundary

Potential views

DEVELOPMENT APPLICATION
489/2024

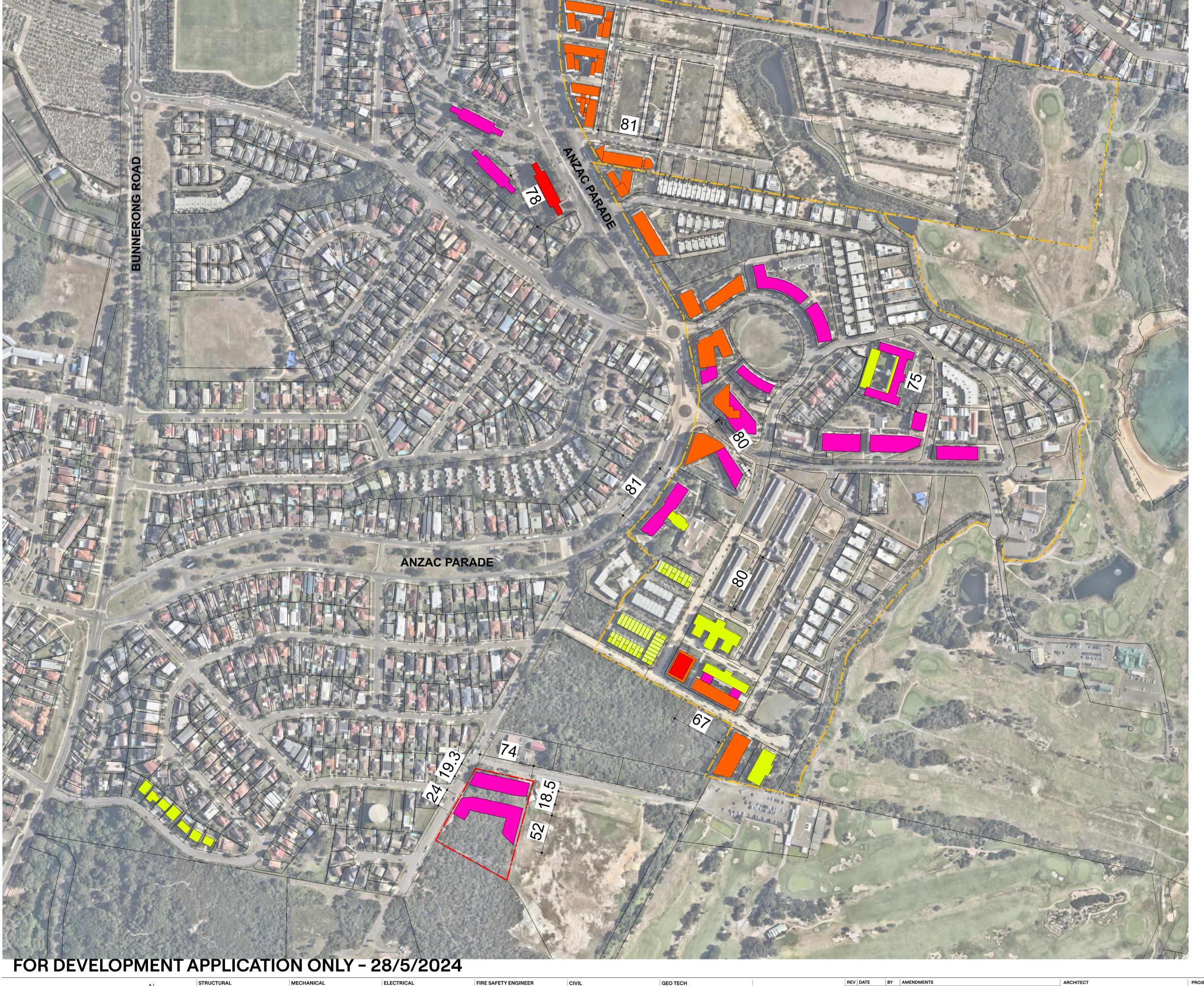
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ROJECT 1 Jennifer St ttle Bay NSW 2036	Views				
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AMENDING DEVELOPMENT APPLICATION	1:500	0	A 1.012	REV A	



The local site catchment includes mixes of low and medium density housing, the industrial activities of Port Botany further to the west.

Low density typically occupies the western side of Anzac Parade, in torrens title subdivisions which are individually owned land parcels. The eastern side of Anzac Parade and Jennifer Street includes multiple large landholdings, formerly or currently occupied by public uses. The Prince Henry Hospital site and Little Bay Cove sites are examples of the change on this eastern side.

Built form ranges from single to some three storey houses in the lower density areas. There are three public housing blocks reaching 4 and 6 storeys.

On the eastern side of Anzac Parade and Jennifer Street, there is a range of scales within each development- but predominantly 4-6 storeys as the major visible scale to Anzac Parade along the topographic spine, and 3 - 5/6 storeys on east west spine streets such as Pine Avenue and Harvey Street.

There is a current proposal to further upzone lands on the Meriton site at Little Bay to tower forms of up to 22 storeys, since refused.

This proposal for the Jennifer Street site respects the more established 3 - 5 storey patterns that are evolving.

It proposes a mix of 3 and 4 storeys on the site tailored

- distribute built form to preserve existing ESBS + appropriate buffers
- protect the public vista along Reservoir Street view
- define the permissible 3 storey scale to the Jennifer Steet frontage
- reinforce corners as per the established pattern on sites to the north

Some areas of 4 storey are explored, along the recreational corridor, to enable development form to better address the expansive coastal landscape to the

6 storey volume

5 storey volume

4 storey volume

3 storey volume

DEVELOPMENT APPLICATIO 489/2024 **Randwick City Council** 11 June 2024 Records Received

22.27

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Enscape Studio ww.enscapestudio.com.au LANDSCAPE

35 Wellington St

Chippendale NSW 2008

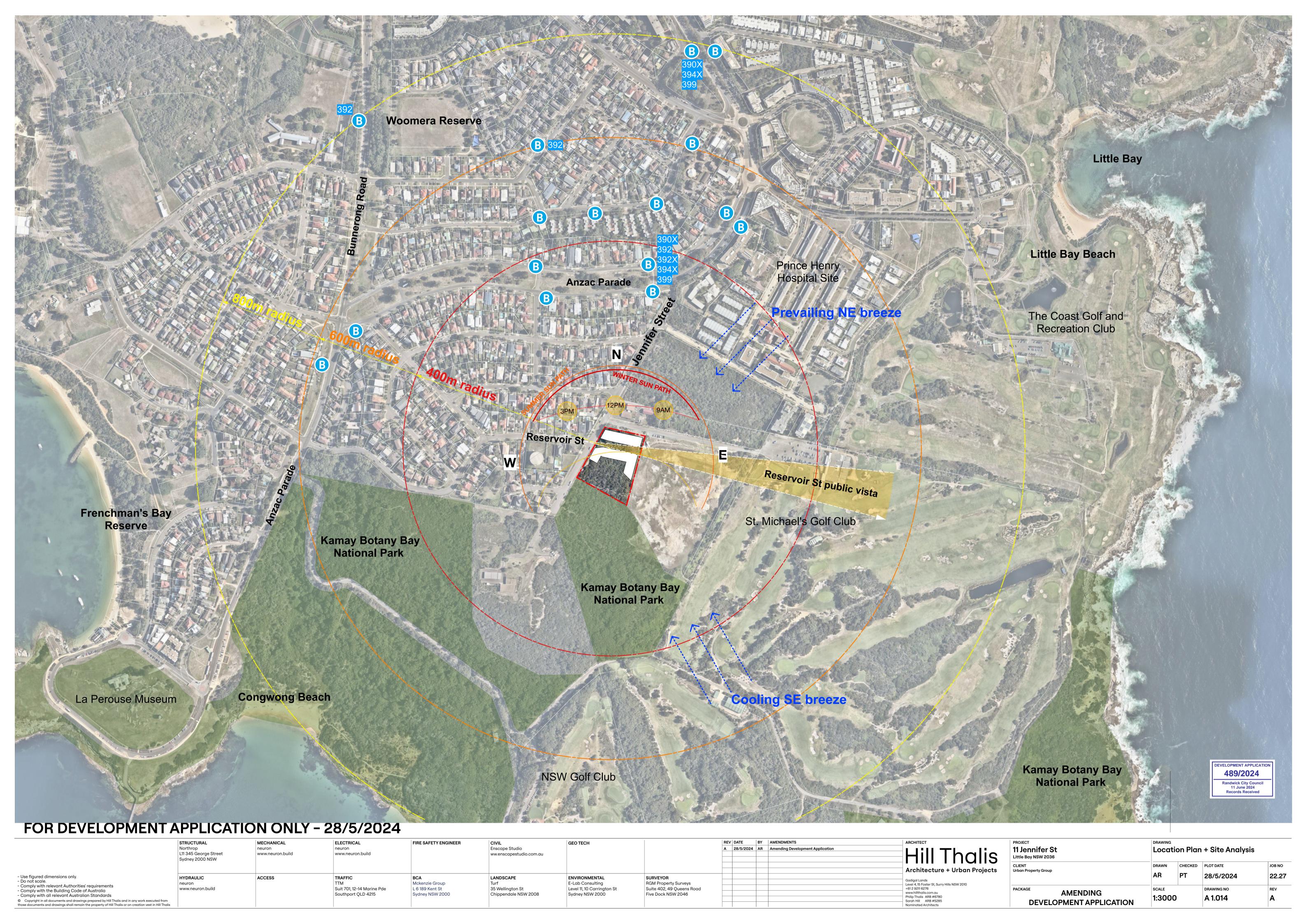
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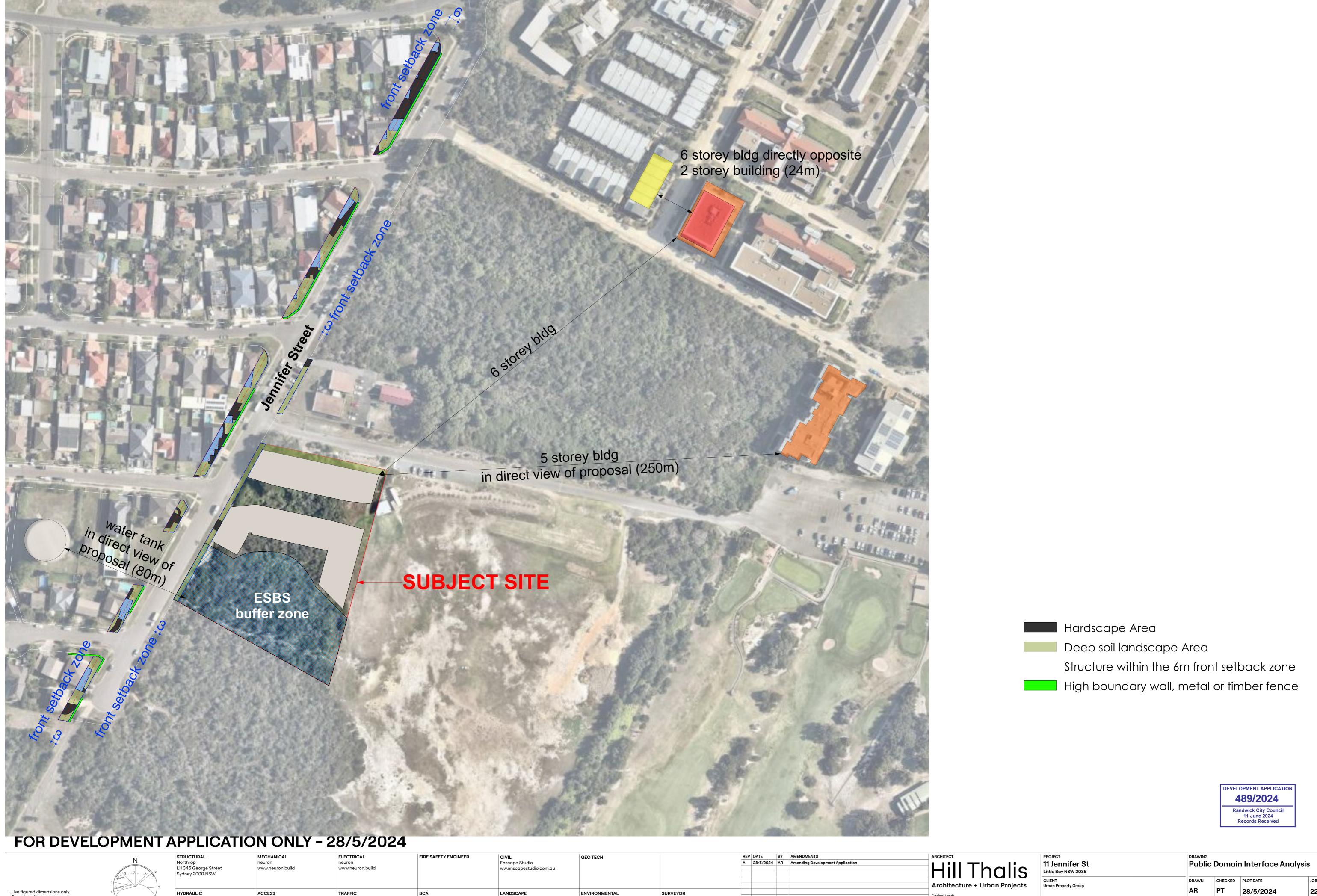
Hill Tho Architecture + Urbai Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010

Sarah Hill ARB #5285

alis	PROJECT 11 Jennifer S Little Bay NSW 2036
n Projects	CLIENT Urban Property Group
	PACKAGE

Built form - Footprint + Height 28/5/2024 **AMENDING** 1:2500 A 1.013 DEVELOPMENT APPLICATION





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Sarah Hill ARB #5285
Nominated Architects

22.27 **AMENDING** 1:1000 A 1.015 DEVELOPMENT APPLICATION



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				Sarah Hill ARB #5285 Nominated Architects

ROJECT 1 Jennifer St ittle Bay NSW 2036	Public	c Views A	Analysis	
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AMENDING DEVELOPMENT APPLICATION	1:1000)	DRAWING NO A 1.016	REV A



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BCA Mckenzie Group L 6 189 Kent St	LANDSC Turf 35 Wellir

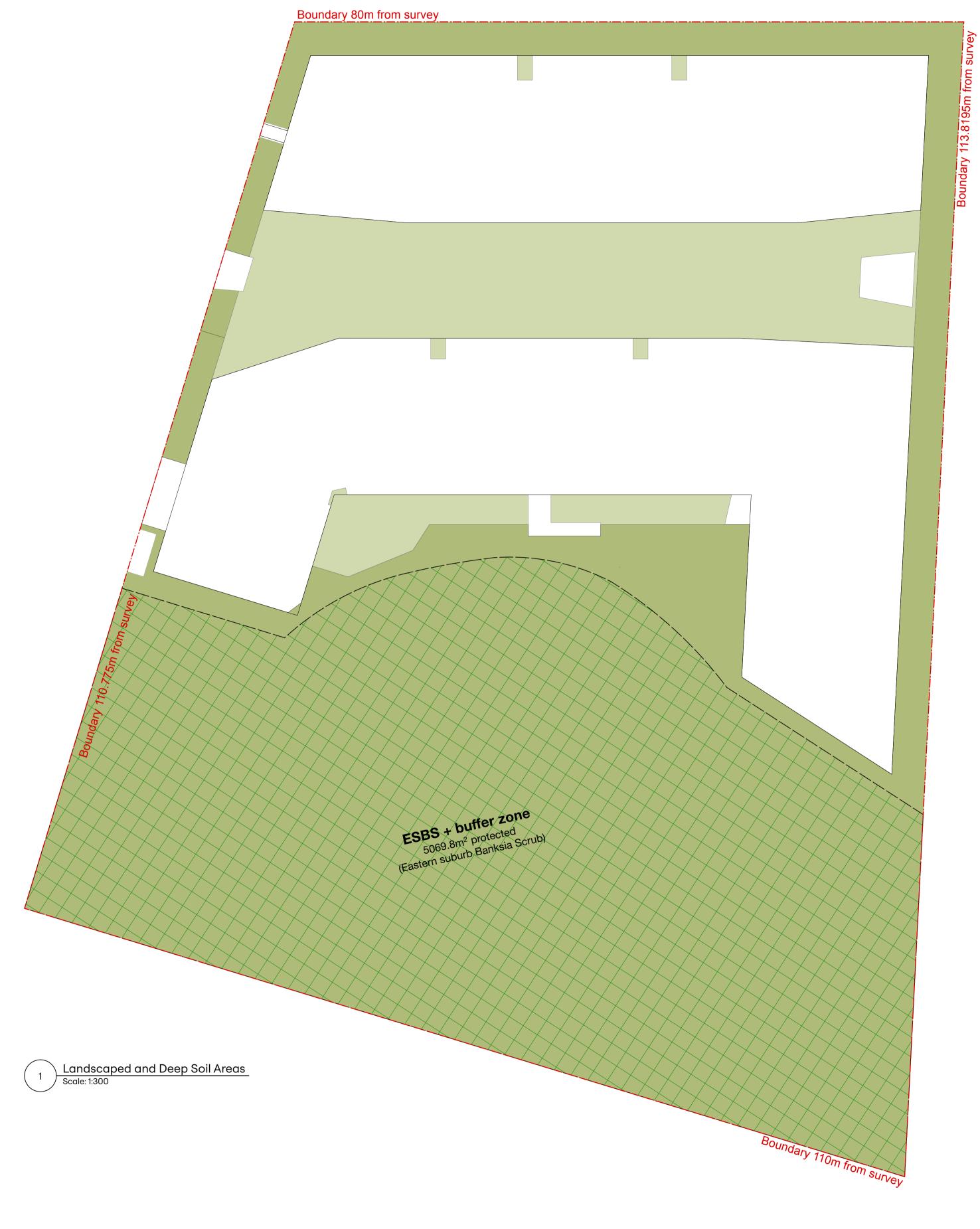
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Chippendale NSW 2008	Sydney NSW 2

ENVIRONMENTAL	SURVEYOR
E-Lab Consulting	RGM Property Surveys
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Sydney NSW 2000	Five Dock NSW 2046

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Gadigal Lands	
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 Sarah Hill ARB #5285	

11 Jennifer St Little Bay NSW 2036	Private Views Analysis					
CLIENT Urban Property Group	DRAWN AR	PT CHECKED	PLOT DATE 28/5/2024	JOB NO 22.27		
AMENDING DEVELOPMENT APPLICATION	1:1000)	A 1.017	REV A		



Site Area	11612	sqm

Controls DCP	% of site area	sqı
Landscaped Area	50%	580
Deep Soil Area	25%	290
Controls ADG	% of site area	sqı

33111 313 7 12 3	70 01 01t0 a1 0a	94.
Landscaped Area	25%	290
Deep Soil Area	7%	81
Communal Open Spac	25%	290

Proposed Areas	% of site area	sqm
Landscaped Area	67%	7729
Deep Soil Area	55%	6346
Communal Open Spac	29%	3321.9

Buiding Footprint	32.5%	377

Deep Soil Area Landscaped Area

ESBS - Eastern Suburbs Banksia Shrubs

DEVELOPMENT APPLICATION 489/2024

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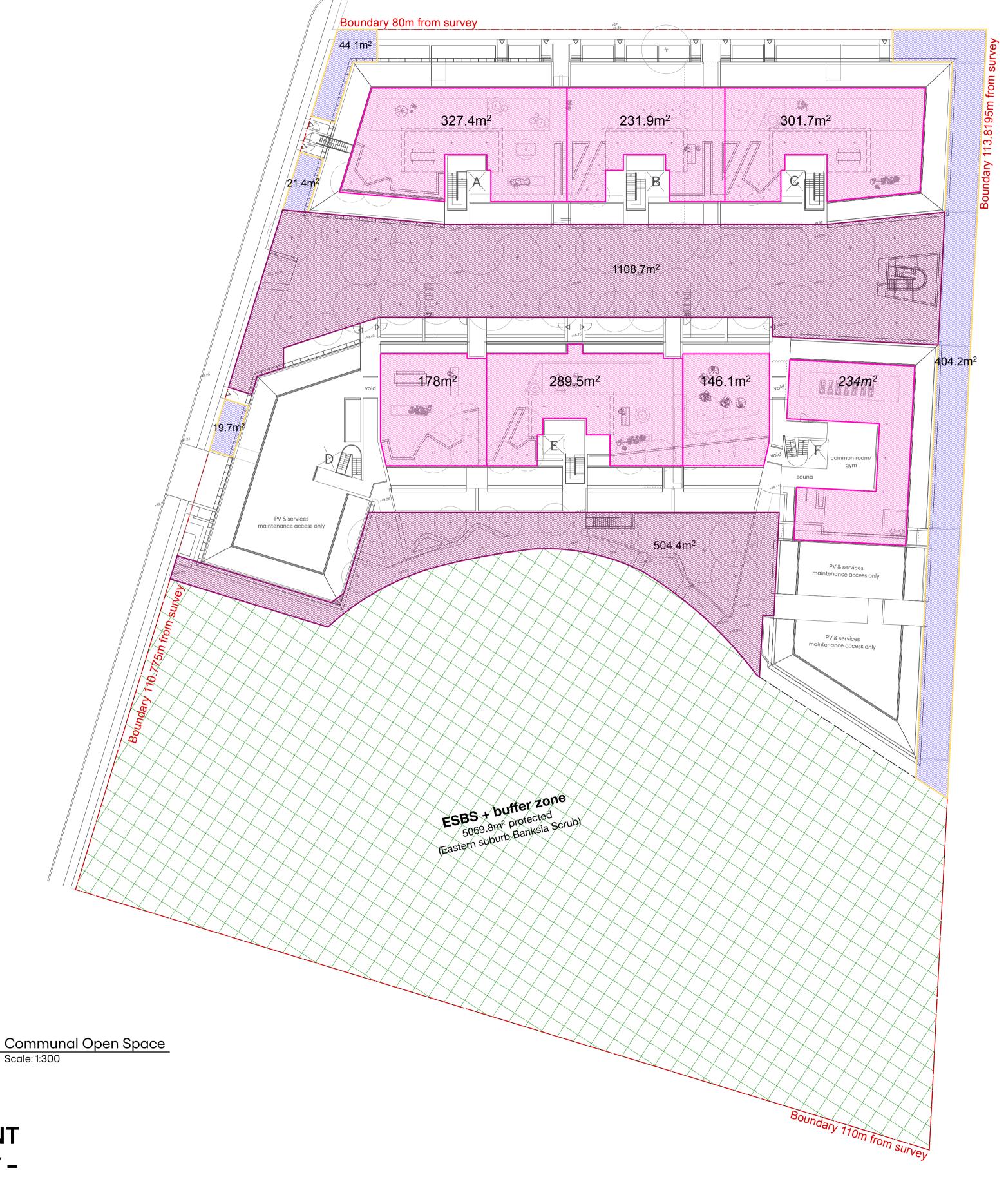
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FOR DEVELOPEMENT

APPLICATION ONLY -

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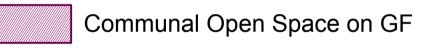
JECT Jennifer St Je Bay NSW 2036	Landscaped and Deep Soil Area					
NT In Property Group	DRAWN AR	снеске р	PLOT DATE 28/5/2024	јов NO 22.27		
AMENDING DEVELOPMENT APPLICATION	1:300		DRAWING NO A 2.021	REV A		



COMMUNAL OPEN SPACE

ROOF	areas in sqm
Roof A	327.4
Roof B	231.9
Roof C	301.7
Roof D	178
Roof E	289.5
Roof F	380.2
Roof G	0
Roof Total	1708.7
GROUND FLOOR	
Central	1108.7
Southern	504.4
GF Total	1613.1
Combined Total	3321.8
req. Communal Open Space 25% of site are	a 2903

Note: Areas along Jennifer St, the eastern boundary and 5069.8 sqm of ESBS and buffer zone have not been includeded into the communal open space calculation.







☐ ESBS - Eastern Suburbs Banksia Shrubs, not included

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OJECT Jennifer St ttle Bay NSW 2036	Comr	nunal O	pen Space	
IENT ban Property Group	drawn AR	снеске р	PLOT DATE 28/5/2024	лов NO 22.27
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neuron		TTM	Mckenzie Group	Turf	E-Lab Consulting	RGM Property Surveys				
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		Southport QLD 4215	Sydney 2000 NSW	Chippendale NSW 2008	Sydney NSW 2000	Five Dock NSW 2046				

ARCHITECT	PROJECT	DRAWING
1 1 1 1 1 7 1	11 Jennifer St	FSR
Hill Thalis	Little Bay NSW 2036	
	CLIENT	DRAWN
Architecture + Urban Projects	Urban Property Group	4.5
Gadigal Lands		AR
Level 4, 15 Foster St, Surry Hills NSW 2010		_
+61 2 9211 6276	PACKAGE	SCALE
www.hillthalis.com.au Philip Thalis ARB #6780	AMENDING	1:200
Sarah Hill ARB #5285	DEVELOPMENT APPLICATION	1.200
Nominated Architects	DEVELOTIVE INT ATTECATION	

22.27

A 2.020

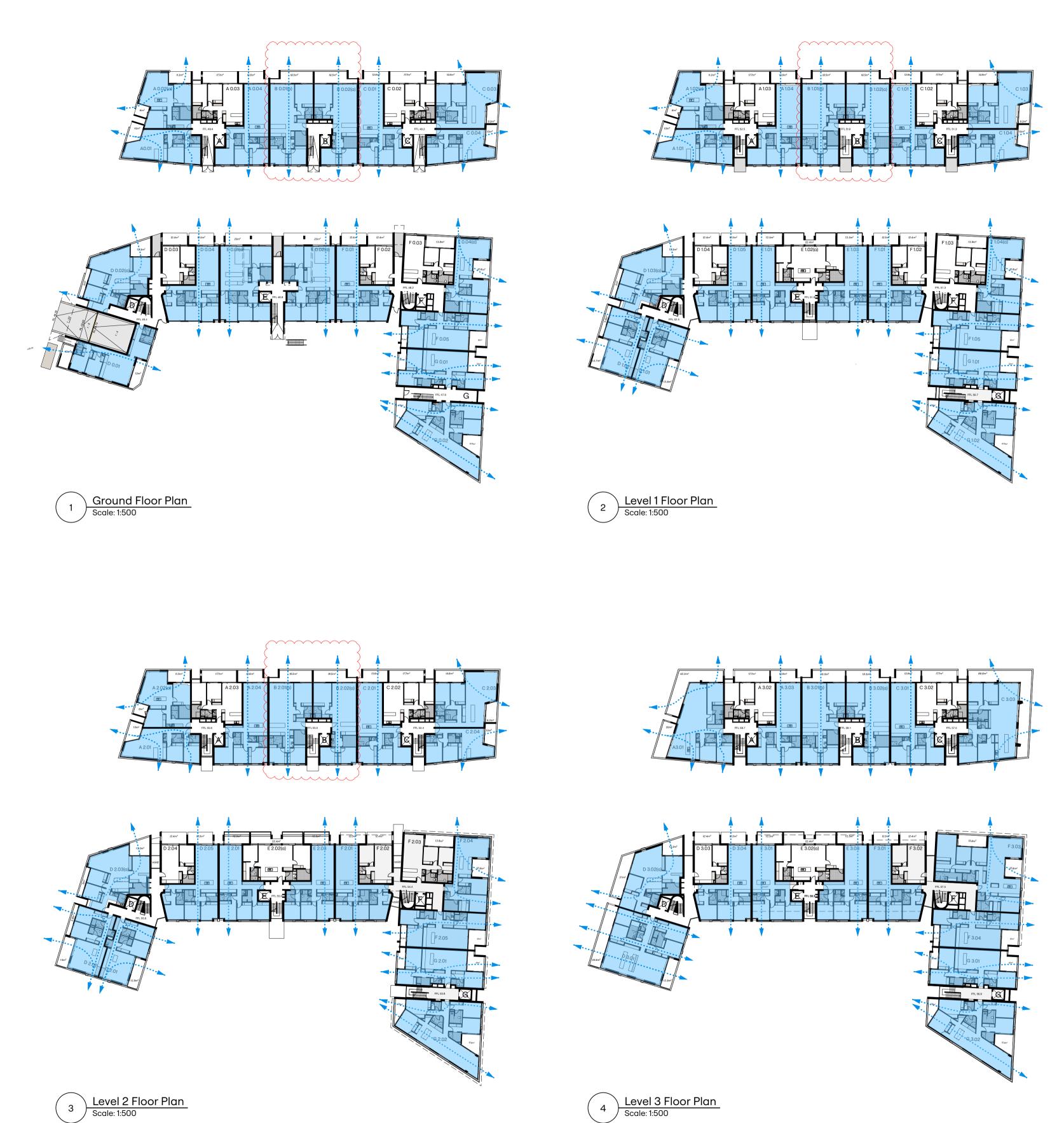
Amending Development Application

Information added for clarification

Revision to Amending Development Application Revision to Amending Development Application Revision to Amending Development Application

Revision to Amending Development Application

Amendments:



FOR DEVELOPEMENT
APPLICATION ONLY -
02/08/24

N 3 12 9/12	9
- Use figured dimensions only.	V
- Do not scale.	
- Comply with relevant Authorities' requirements	
- Comply with the Building Code of Australia	
- Comply with all relevant Australian Standards	
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9 12	Xavier Knight Level 7 / 210 Cl NSW Australia
V	HYDRAULIC neuron www.neuron.bu
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STRUCTURAL Kavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	reuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONME E-Lab Consu Level 11, 10 Co Sydney NSW

ape Studio nscapestudio.com.au		
OSCAPE	ENVIRONMENTAL	SURVEYOR
	E-Lab Consulting	RGM Property Surveys
ellington Street	Level 11, 10 Carrington St	Suite 402, 49 Queens Road
pendale NSW 2008	Sydney NSW 2000	Five Dock NSW 2046

28/5/2024	AR	Amending Development Application	
2/8/2024	MR	Revision to Amending Development Application	Hill Thalis
			Architecture + Urban Projects
			Gadigal Lands
			Level 4, 15 Foster St, Surry Hills NSW 2010
			+61 2 9211 6276 www.hillthalis.com.au
			Philip Thalis ARB #6780
			Sarah Hill ADB #5285

ARCHITECT

silc	PROJECT 11 Jennifer St Little Bay NSW 2036	Cross	Ventila	tion	
Projects	CLIENT Urban Property Group	DRAWN AR	CHECKED PT	1/8/2024	јов NO 22.27
	AMENDING DEVELOPMENT APPLICATION	1:200		DRAWING NO A 2.023	B REV

ADG Compliance Checklist					
Residential Class Units		Units	Total	%	compliance
Solar Access	> 2hrs mid winter sun	75	94	80%	✓
At least 70% of residential units must	≤ 2 hrs mid winter sun	11	94	12%	✓
receive >2hrs of sun in mid-winter	0 hrs mid winter sun	8	94	9%	✓
Cross Ventilation	min openings achieved	72	94	77%	√
At least 60% of residential units must be naturally cross venitlated	*Minimum openings required = 2.5% of internal unit area				
Adaptability	silver level adaptable	22	94	23%	✓
At least 20% of residential units incoporate silver level universal design features					

Residential Accomodation Schedule

Core	Level	Unit No.	Туре	A	rea	X-Ventilated		Access					ly Break					丄
				Internal (sqm)	Private Open Space (sqm)		Compliance (>2hrs)*	Time Period (9am - 3pm)	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	T
Α	. 0	01	2 Bed	89.1	10.0	√	✓	> 3 hr				Х	Х	х	Х	Х	Х	十
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	X	Х	Х	х	х	х	х	х	X	
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	X	х	х	х	Х	х	х	х	X	
		04	3 Bed	120.2	13.6	√	√	> 3 hr	X	х	х	х	х	х	X	х	X	
В	3 0	01(a)	3 Bed	134.2	18.5	✓ ·	✓	> 3 hr	X	Х	X	Х	х	х	х	х	Х	1
_		02(a)	3 Bed	119.8	18.5	· /	✓	> 3 hr	X	X	X	X	X	X	X	X	X	
С	0	01	3 Bed	120.8	13.6	√	✓	3 hr	X	X	X	X	×	X	X	X	X	+
		02	2 Bed	82.3	17.7	X	√	3 hr	X	X	X	X	×	×	X	X	×	
		03	2 Bed	118.2	23.8	<i>'</i>	1	> 3 hr	×	X	X	X	×	×	X	X	×	
		04	2 Bed 2 Bed	79.8	10.0	V	X	1 - 1.5 hr	×	X	×	^	^	^	^	^	^	
D	0 0	01	2 Bed	100.9	24.0	√	X	0	^	۸	^							4
U	, ,	02	3 Bed	128.8	18.3		•	> 3 hr			v	v		· ·		. v	ı .	
						√	√				Х	Х	Х	Х	Х	Х	Х	
		03	1 Bed	53.4	12.4	X	√	3 hr					Х	Х	Х	Х	Х	
_		04	3 Bed	117.4	12.5	√	√	2 hr						Х	Х	Х	Χ	4
E	0	01(a)	4 Bed	149.8	23.0	✓	X	0										
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F	0	01	3 Bed	117.4	12.5	√	X	< 0.5 hr						Х				
		02	1 Bed	53.4	12.4	X	X	0										
		03	2 Bed	84.2	13.8	X	X	0									-	
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	X	Х	Х	Х	X	Х	Х	Х		
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	X	Х	Х							
G	0	01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	X	х	х							Τ
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr	X	Х	х			Х	х	х		
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		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	X	х	х	х	х	х	х	х	×	
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	X	х	х	х	х	х	х	х	X	
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	X	Х	х	х	Х	х	х	х	X	
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		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	X	х	х	х	Х	х	х	х	X	
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		03	2 Bed	118.2	23.8	~	✓	> 3 hr	X	X	X	X	X	X	X	X	×	
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, L	'	02	2 Bed 2 Bed	90.2	19.3	√	^	> 3 hr				Г	.,	· ·			1	
						√	V						X	X	X	X	X	
		03(a)	3 Bed	128.8	18.3		~	> 3 hr			Х	Х	Х	Х	Х	Х	X	
		04	1 Bed	53.4	12.4	X		. 0.1			Х	Х	X	Х	Х	Х	X	
		05	3 Bed	117.4	12.5	√	√	> 3 hr		Х	Х	Х	Х	Х	Х	Х		4
E	1	01	3 Bed	107.1	12.5	√	√	> 3 hr				Х	Х	Х	Х	Х	Х	1
		02(a)	2 Bed	101.5	22.4	X	✓	> 3 hr			Х	Х	Х	Х	Х	Х	X	1
		03	3 Bed	112.2	12.5	✓	✓	> 3 hr			Х	Х	Х	Х	Х	Х	Х	1
F	1	01	3 Bed	117.4	12.5	✓	✓	3 hr			х	х	Х	х	х	х		
		02	1 Bed	53.4	12.4	X	✓	> 3 hr				х	Х	Х	Х	х	Х	1
		03	2 Bed	84.2	13.8	X	✓	> 3 hr			X	х	X	х	Х		_	1
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	X	х	х	х	х	х	х	х		J
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	X	Х	х							┚
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		02	4 Bed	166.2	20.7	✓	✓	> 3 hr		х	х		Х	х	х	х	1	
Α	2	01	2 Bed	89.1	10.0	√	√	> 3 hr				х	х	х	х	х	X	†
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		04	3 Bed	120.2	13.6	Ý	1	> 3 hr	X	X	X	X	×	X	X	X	×	1
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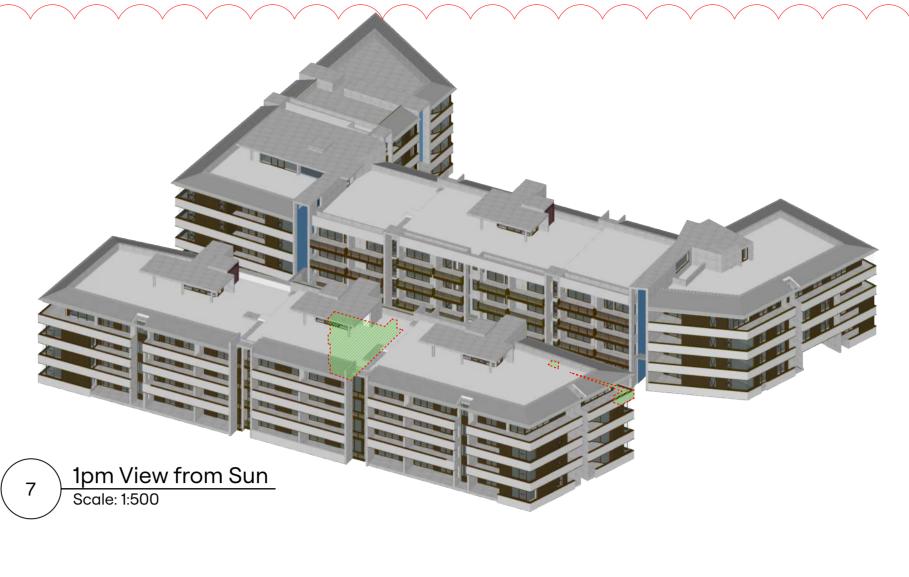
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7:30am View from Sun Scale: 1:500



10am View from Sun Scale: 1:500

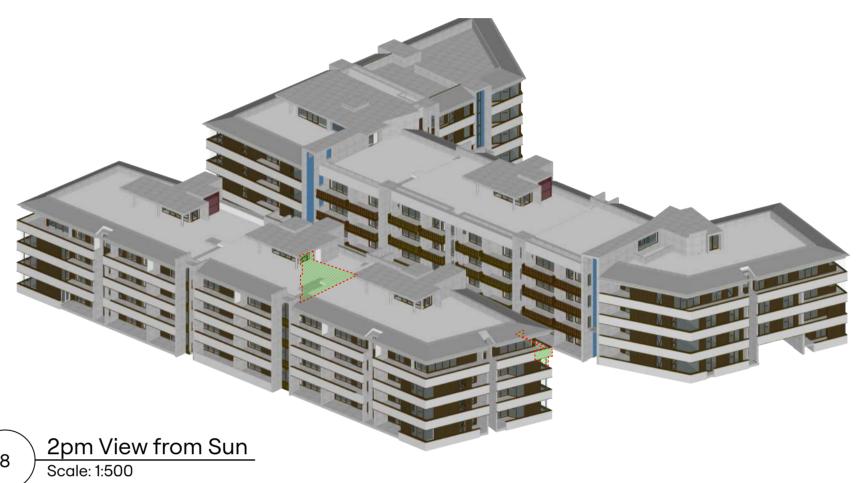




8am View from Sun Scale: 1:500



11am View from Sun Scale: 1:500









Additional overshaddowing to central courtyard

4:30pm View from Sun Scale: 1:500

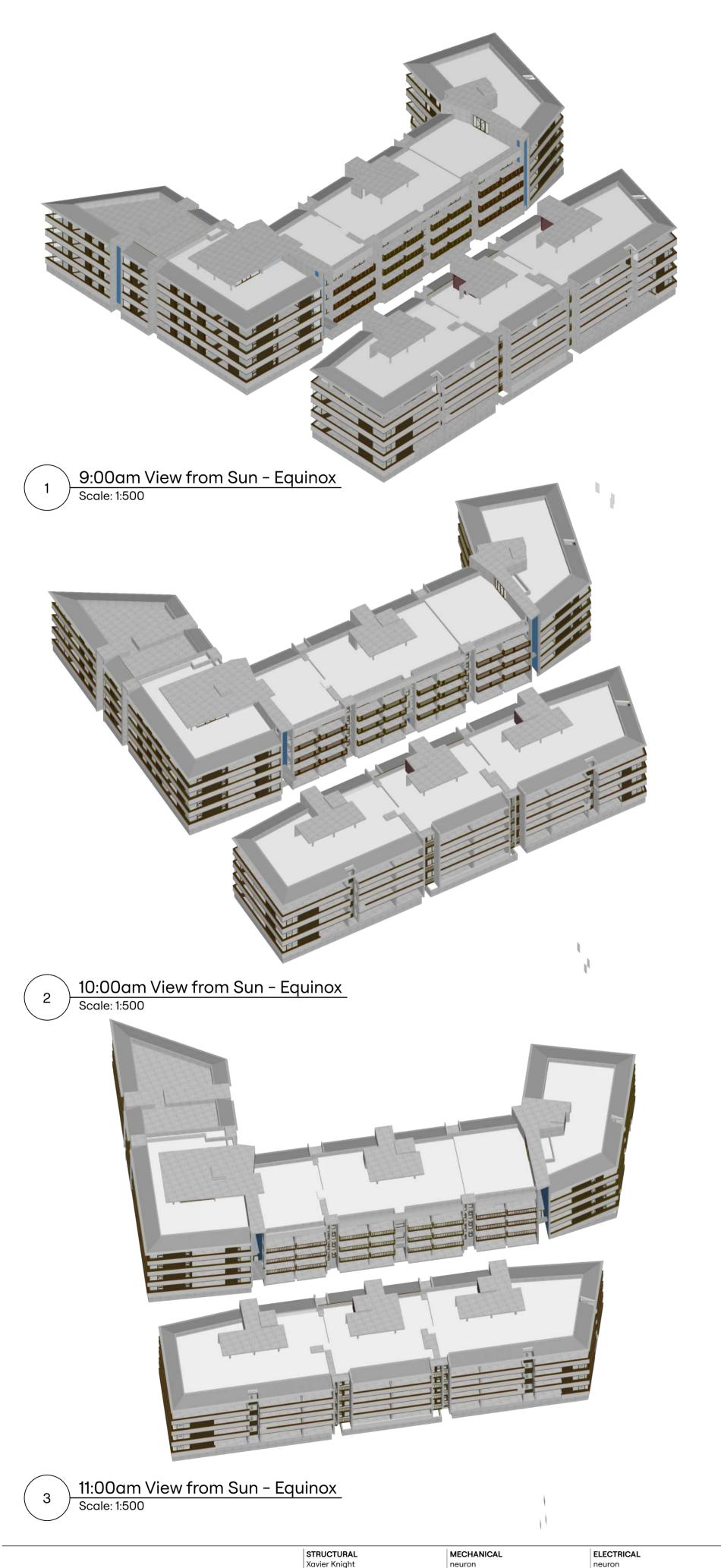


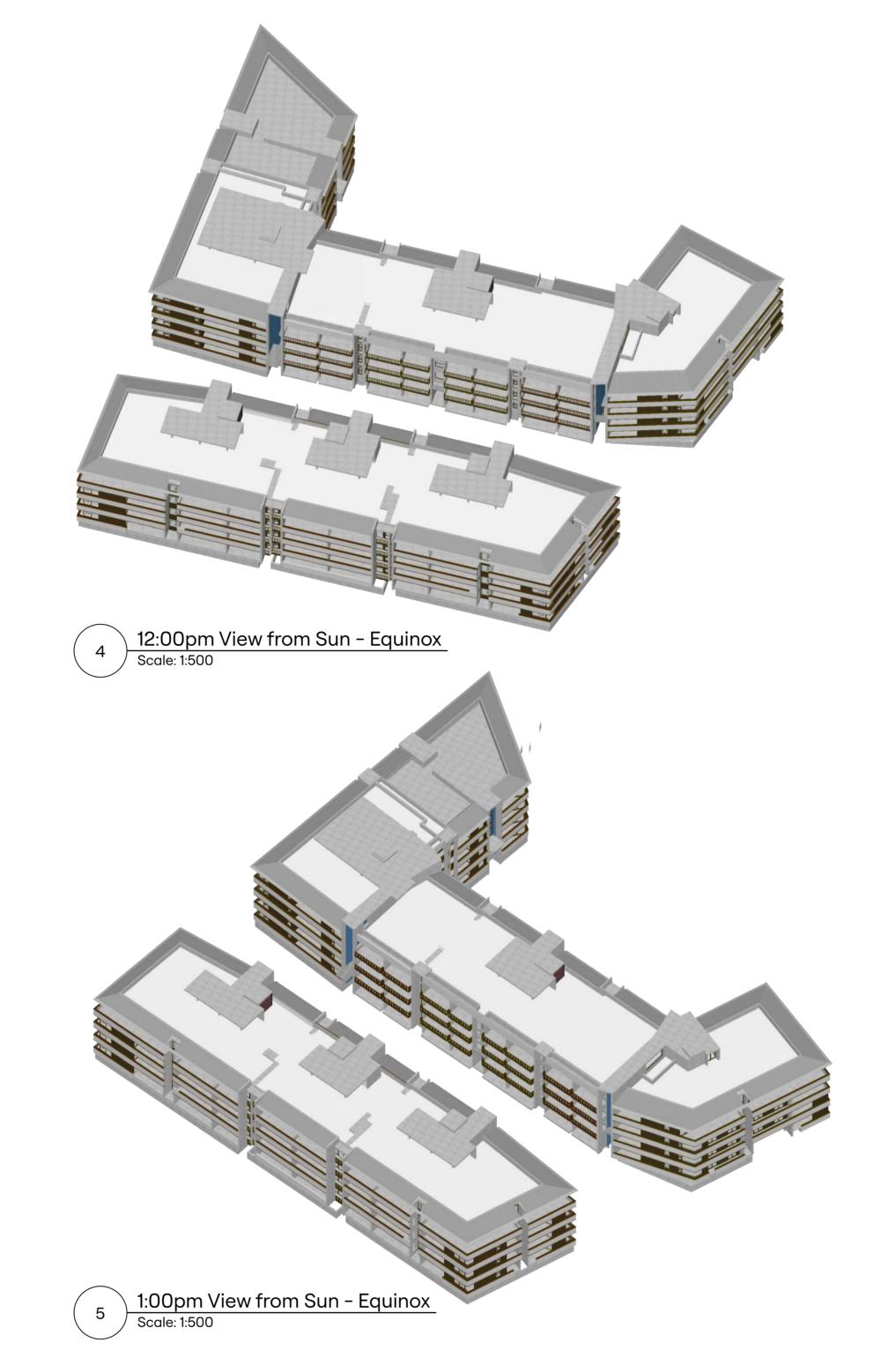


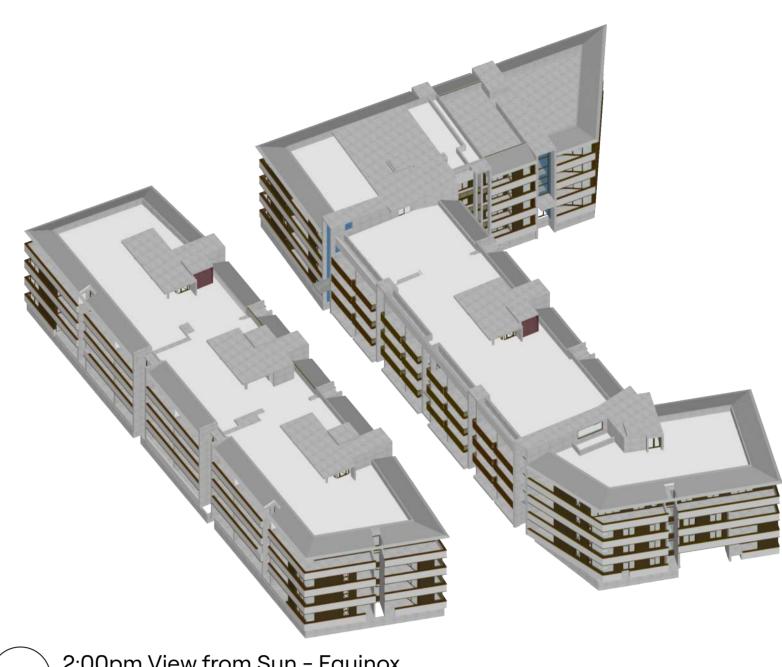
12pm View from Sun Scale: 1:500

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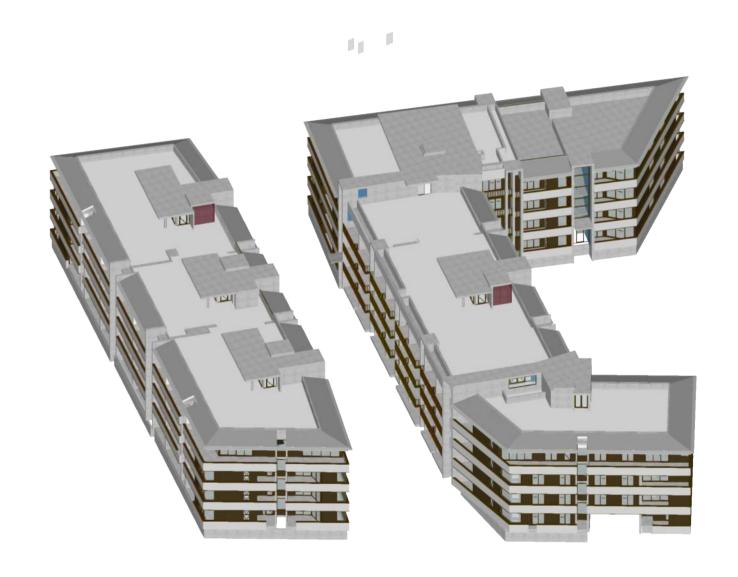
0L/ 00/ L-T														
	STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydner NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH		REV DATE BY AMENDMENTS A 2/8/2024 MR Revision to Amending Development Application	Hill Thalis	PROJECT 11 Jennifer St Little Bay NSW 2036	Solar	Access	- Mid Winter	
- Use figured dimensions only. - Do not scale.	HYDRAULIC neuron	ACCESS	TRAFFIC TIM	BCA Mckenzie Group	LANDSCAPE Turf	ENVIRONMENTAL E-Lab Consulting	SURVEYOR RGM Property Surveys		Architecture + Urban Projects Gadigal Lands Level 4. 15 Foster St. Surry Hills NSW 2010	CLIENT Urban Property Group	AR		PLOT DATE 1/8/2024	јов NO 22.27
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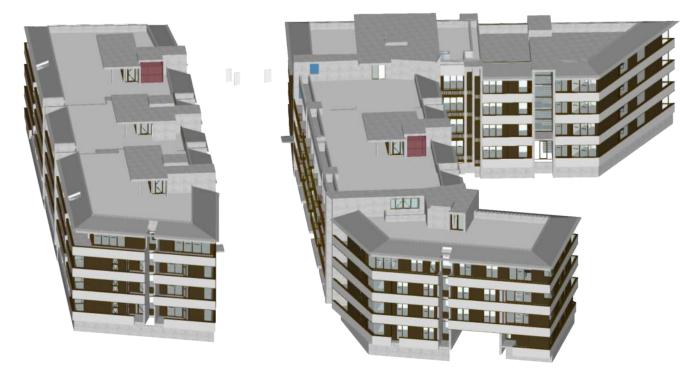




2:00pm View from Sun - Equinox
Scale: 1:500



7 3:00pm View from Sun - Equinox
Scale: 1:500



22.27

8 4:00pm View from Sun - Equinox
Scale: 1:500

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						O.						
	STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH		REV DATE BY AMENDMENTS A 2/8/2024 MR Revision to Amending Development Application	Hill Thalis	PROJECT 11 Jennifer St Little Bay NSW 2036	Solar A	Access - Equinox
- Use figured dimensions only Do not scale.	HYDRAULIC neuron	ACCESS	TRAFFIC TTM	BCA Mckenzie Group	LANDSCAPE Turf	ENVIRONMENTAL E-Lab Consulting	SURVEYOR RGM Property Surveys		Architecture + Urban Projects Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010	CLIENT Urban Property Group	AR	PT 1/8/2024
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	 Comply with the Building Code of Australia Comply with all relevant Australian Standards 	

STRUCTURAL Xavier Knight	MECHANICAL neuron	ELECTRICAL neuron	FIRE SAFETY ENGINEER	CIVIL Enscape Studio	GEO TECH		REV DATE BY A 28/5/2024 AR	7.11.2.11.2.11.2	ARCHITECT
Level 7 / 210 Clarence StreetSydney NSW Australia		www.neuron.build	www.fireep.com.au	ww.enscapestudio.com.au				Revision to Amending Development Application	— Hill Thalis
									Architecture + Urban Projec
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046			Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285

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and decided and			0070	√	
s mid winter sun	11	94	12%	✓	
mid winter sun	8	94	9%	√	
openings achieved	72	94	77%	✓	
*Minimum openings	required = 2.5%	of internal unit	area		
er level adaptable	22	94	23%	✓	
•	*Minimum openings	*Minimum openings required = 2.5%	*Minimum openings required = 2.5% of internal unit	*Minimum openings required = 2.5% of internal unit area	*Minimum openings required = 2.5% of internal unit area

Residential Accomodation Schedule

re	Level	Unit No.	Туре	A	rea	X-Ventilated	Solar	Access				Hour	ly Breakd	lown			
				Internal	Private Open		Compliance	Time Period	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm
				(sqm)	Space (sqm)		(>2hrs)*	(9am - 3pm)									
Α	0	01	2 Bed	89.1	10.0	√	√	> 3 hr				Х	Х	Х	Х	Х	Х
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х
В	0	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	X	х	х	х	Х	х	х	х	Х
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	X	х	х	х	Х	Х	Х	Х	Х
С	0	01	3 Bed	120.8	13.6	✓	✓	3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х
		02	2 Bed	82.3	17.7	X	✓	3 hr	X	х	х	х	Х	х	х	х	Х
		03	2 Bed	118.2	23.8	✓	✓	> 3 hr	X	х	х	х	х	х	х	х	Х
		04	2 Bed	79.8	10.0	✓	X	1 - 1.5 hr	X	х	х						1
D	0	01	2 Bed	100.9	24.0	✓	X	0									
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		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	X	Х	Х						
G	0	01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	X	Х	Х						
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr	X	Х	Х			Х	Х	Х	
Α	1	01	2 Bed	89.1	10.0	✓	✓	> 3 hr				Х	Х	X	Х	Х	X
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	X	х	х	х	х	х	х	х	Х
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	X	х	х	х	х	х	х	х	X
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	X	х	х	х	Х	Х	х	х	×
В	1	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	X	х	х	х	х	х	х	х	Х
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	×	х	х	х	х	х	х	х	×
С	1	01	3 Bed	120.8	13.6	√ ·	√	> 3 hr	X	X	X	X	X	x	Х	Х	X
•		02	2 Bed	82.3	17.7	X	1	3 hr	X	X	X	X	X	×	X	X	X
		03	2 Bed	118.2	23.8	✓	✓	> 3 hr	×	x	X	X	x	X	X	X	. X
		04	2 Bed	79.8	10.0	√	X	1 - 1.5 hr	×	×	×	^	^	^	^	^	^
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		04	1 Bed	53.4	12.4	X					Х	Х	Х	Х	Х	Х	X
		05	3 Bed	117.4	12.5	✓	✓	> 3 hr		Х	Х	Х	Х	Х	Х	Х	
E	1	01	3 Bed	107.1	12.5	✓	✓	> 3 hr				Х	Х	Х	Х	Х	Х
		02(a)	2 Bed	101.5	22.4	X	✓	> 3 hr			Х	Х	Х	Х	Х	Х	Х
		03	3 Bed	112.2	12.5	✓	✓	> 3 hr			Х	Х	Х	X	Х	Х	Х
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		02	1 Bed	53.4	12.4	X	✓	> 3 hr				х	х	Х	Х	Х	Х
		03	2 Bed	84.2	13.8	X	✓	> 3 hr			x	х	х	Х	х		
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	X	x	х	х	х	x	х	х	
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	X	х	х						•
G		01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	Х	х	х						
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr		х	х		Х	х	Х	Х	
Α	2	01	2 Bed	89.1	10.0	√	√	> 3 hr				Х	X	x	X	X	X
- '		02(a)	2 Bed	98.5	17.3	√	1	> 3 hr	×	х	х	X	X	x	X	X	×
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	×	×	×	X	×	X	X	X	X
		04	3 Bed	120.2	13.6	→	√	> 3 hr	×	×	X	X	X	X	X	X	×
В	2	01(a)	3 Bed	134.2	18.5	√	√	> 3 hr	X	X	X	X	X	X	X	X	X
0		01(a) 02(a)	3 Bed	119.8	18.5	√	√	> 3 hr	×	X	X	X	X	X	X		×
	2	02(a) 01	3 Deu	115.0	13.6	٧	V	7 3 111	^	۸	۸	۸	۸	٨	٨	Х	, ,

11 Jennifer St Little Bay NSW 2036

AMENDING

DEVELOPMENT APPLICATION

Solar Access

A 2.024

1:200

22.27

ADG Compliance Checklist Residential Class Units compliance Units Total Solar Access > 2hrs mid winter sun 94 94 ≤ 2 hrs mid winter sun 12% At least 70% of residential units must receive >2hrs of sun in mid-winter 0 hrs mid winter sun **Cross Ventilation** min openings achieved 72 94 77% At least 60% of residential units must be *Minimum openings required = 2.5% of internal unit area naturally cross venitlated silver level adaptable 23% Adaptability At least 20% of residential units incoporate silver level universal design features

Amendments:

- 1. Revise Residential Accommodation Schedule
- 2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
- 3. Increased vertical articulation zones to break up length of
- 4. Remove 1 bed unit. Units B01 and B02 become 3 bed. 5. Increase setback to 2.5m.
- 6. Revise unit layout and riser location to accommodate Level 3 setback
- 7. Increase setback to Level 38. Openings in roof
- 9. Remove concrete hood over articulation zone
- 10. Shift canopy east and revise landscape for more privacy to Jennifer Street
- 11. Reduce eaves overhang
- 12. Reduce height of lift overrun.

Residential Accomodation Schedule

Core	Level	Unit No.	Туре	Δ	rea	X-Ventilated	Solar A	Access				Hou	rly Break	down				
				Internal (sqm)	Private Open Space (sqm)		Compliance (>2hrs)*	Time Period (9am - 3pm)	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	Tot
Α	0	01	2 Bed	89.1	10.0	✓	(×21113) ✓	> 3 hr				Х	х	Х	х	х	Х	+
^		02(a)	2 Bed	98.5	17.3	√	1	> 3 hr	×	х	х	X	X	X	X	X	X	
		03	2 Bed	82.3	17.7	X	√	> 3 hr	×	×	X						X	
		04	3 Bed	120.2	13.6	\ \	√	> 3 hr	×	×	X	X X	X X	X X	X X	X	×	
В	0	01(a)	3 Bed	134.2	18.5	✓	√	> 3 hr										1
	U	01(a) 02(a)	3 Bed	119.8	18.5	√	V	> 3 hr	X	X	X	X	X X	X X	X	X	X	
С	0	02(a) 01	3 Bed	120.8	13.6	✓	√	3 hr										╁
C	U	02	2 Bed	82.3	17.7	X	√	3 hr	X	X	X	X	X	X	X	X	X	
		03	2 Bed	118.2	23.8	\ \ \	./	> 3 hr	X	X	X	X	X X	X X	X	X	X	
		04	2 Bed 2 Bed	79.8	10.0	√	V	1 - 1.5 hr	X	X	X	Х	^	^	Х	Х	^	
D	0	01	2 Bed	100.9	24.0	✓	X	0	X	Х	Х							1
U	U	02	3 Bed	128.8	18.3	✓	^	> 3 hr			v	v	v	v	v	v		
		03	1 Bed	53.4	12.4		V	3 hr			Х	Х	X	X	X	X	X	
				117.4	12.4	X	V						Х	X	Х	X	X	
E	•	04	3 Bed 4 Bed	149.8	23.0	✓	V	2 hr						Х	Х	Х	Х	╀
	0	01(a)			23.0	✓	X	0										
F	•	02(a) 01	4 Bed 3 Bed	153.8	12.5	✓	X	< 0.5 hr									X	╀
г	0	01	1 Bed	117.4	12.5		X							Х				
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	4	02	4 Bed	166.2	20.7	√	√	> 3 hr	Х	Х	Х			Х	Х	Х		+
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		02(a)	2 Bed	98.5	17.3	√	√	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х	
		03	2 Bed	82.3	17.7	X	√	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	X	
		04	3 Bed	120.2	13.6	√	√	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х	+
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		02	2 Bed	82.3	17.7	X	√	3 hr	X	Х	Х	Х	Х	Х	Х	Х	X	
		03	2 Bed	118.2	23.8	√	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	Х	
_		04	2 Bed	79.8	10.0	√	Х	1 - 1.5 hr	Х	Х	Х							+
D	1	01	2 Bed	89.4	12.8	✓	X	0								1	1	
		02	2 Bed	90.2	19.3	✓	√	> 3 hr					Х	Х	Х	Х	X	
		03(a)	3 Bed	128.8	18.3	√	✓	> 3 hr			Х	Х	Х	Х	Х	Х	X	
		04	1 Bed	53.4	12.4	X					Х	Х	Х	Х	Х	Х	X	
	_	05	3 Bed	117.4	12.5	✓	√	> 3 hr		X	Х	Х	Х	Х	Х	Х		+
E	1	01	3 Bed	107.1	12.5	√	√	> 3 hr				Х	Х	Х	Х	Х	X	
		02(a)	2 Bed	101.5	22.4	X	√	> 3 hr			Х	Х	Х	Х	Х	Х	Х	
		03	3 Bed	112.2	12.5	√	√	> 3 hr			Х	Х	Х	Х	Х	Х	Х	+
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		02	1 Bed	53.4	12.4	X	√	> 3 hr				Х	Х	Х	Х	Х	Х	
		03	2 Bed	84.2	13.8	X	✓	> 3 hr			Х	Х	Х	Х	Х		1	
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	х		
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	X	Х	Х							Ļ
G		01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	X	X	х							
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr		X	Х		х	Х	Х	Х		1
Α	2	01	2 Bed	89.1	10.0	✓	✓	> 3 hr				х	х	х	х	х	X	ſ
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	×	х	Х	х	х	х	х	х	X	1
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	X	х	х	х	х	х	х	х	X	
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	X	х	х	х	х	х	х	х	Х	\perp
В	2	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	X	Х	Х	х	X	х	х	х	X	
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	X	Х	Х	Х	Х	Х	Х	Х	X	L

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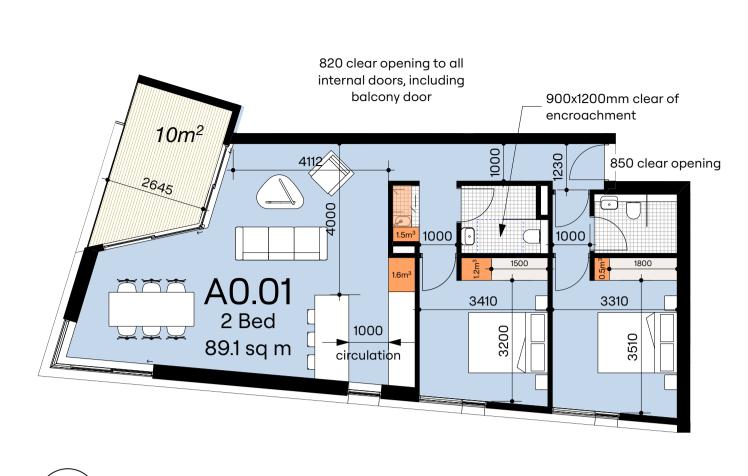
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V	neuron www.neu
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CTURAL r Knight 7 / 210 Clarence StreetSydney Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH		A 28/5/2024 AR	AMENDMENTS Amending Development Application Revision to Amending Development Application	HIII Thalis Architecture + Urban Projects
RAULIC on neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046			Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285 Nominated Architects

PROJECT 11 Jennifer St Little Bay NSW 2036	Apart	ment Lo	ayout Schedule	9
CLIENT Urban Property Group	DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	јов NO 22.27
AMENDING DEVELOPMENT APPLICATION	scale NTS		DRAWING NO A 2.025	REV B

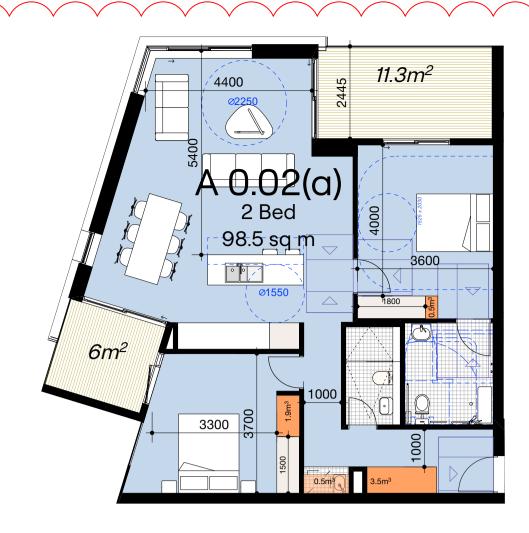


APT A0.01, A1.01, A2.01 Scale: 1:100 STORAGE 4.8m³ within apartment

+ basement

A0.01 (GF) Silver Level Design + street address

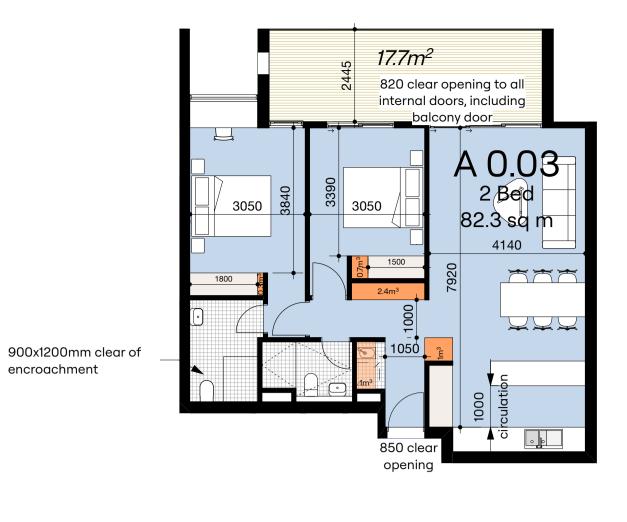




APT A0.02, A1.02, A2.02, A3.02 - ADAPTABLE

STORAGE 6.4m³ within apartment + basement

A0.02 (GF) + additional 13m² private open space

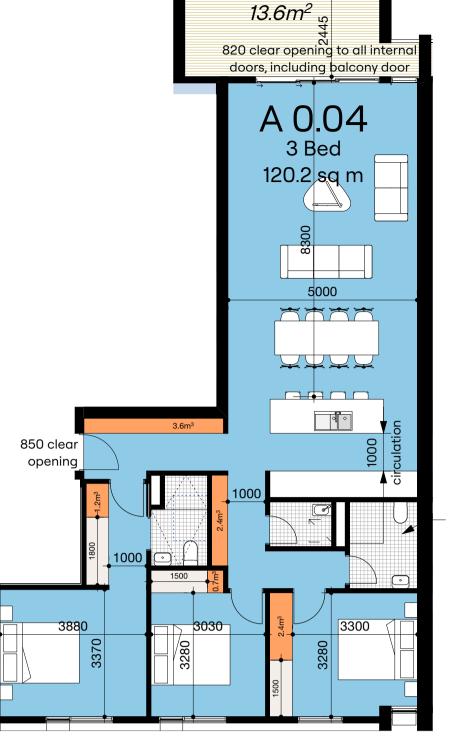


encroachment

APT A0.03, A1.03, A2.03, A3.03 Scale: 1:100

STORAGE 5.4m³ within apartment + basement

A0.03 (GF) Silver Level + additional 24m² private open space



900x1200mm clear of encroachment APT A0.04, A1.04, A2.04, A3.04

> A0.04 (GF) Silver Level + additional 15m² private open space

STORAGE 10.3m³ within apartment



APT B0.01, B1.01, B2.01, 3.01 - ADAPTABLE



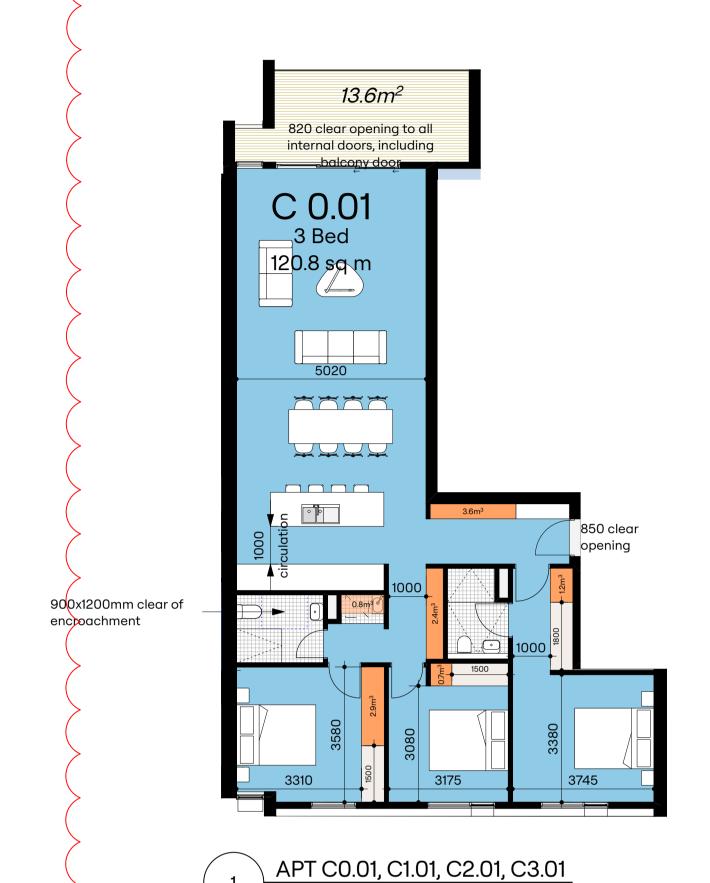
APT B0.02, B1.02, B2.02, 3.02 - ADAPTABLE

STORAGE 8.0m³ within apartment

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STORAGE 12.7m³ within apartment

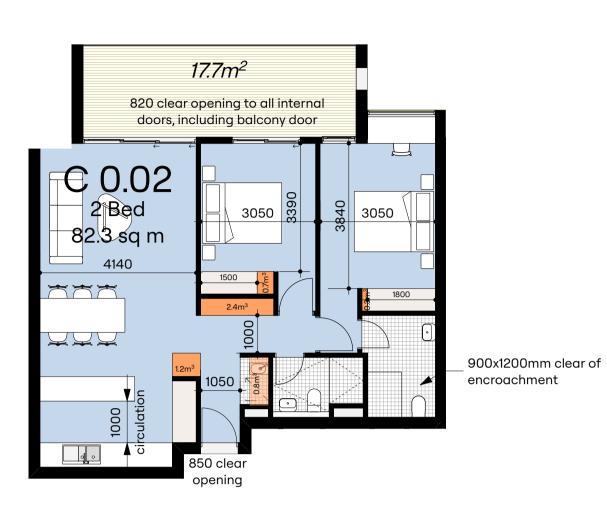
	STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH		AMENDMENTS Amending Development Application Revision to Amending Development Application	Hill Thalis	PROJECT 11 Jennifer St Little Bay NSW 2036	Apartme	ent Layouts - Cor	e A + B
– Use figured dimensions only. – Do not scale.	HYDRAULIC	ACCESS	TRAFFIC	BCA Mokenzie Group	LANDSCAPE Turf	ENVIRONMENTAL E-I gb Consulting	SURVEYOR RGM Property Surveys		Architecture + Urban Projects Gadigal Lands	CLIENT Urban Property Group	AR P	T 1/8/2024	јов NO 22.27
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STORAGE 11.6m³ within apartment

+ additional 12m² private open space

C0.01 (GF) Silver Level Design



820 clear opening to all internal doors, including balcony door

CO.O3
2 Bed
118.2 sq m

3050 clear opening

900x1200mm clear of encroachment

APT C0.02, C1.02, C2.02, C3.02 Scale: 1:100

STORAGE 5.4m³ within apartment + basement

C0.02 (GF) Silver Level Design + additional 24m² private open space 3 APT C0.03, C1.03, C2.03 Scale: 1:100

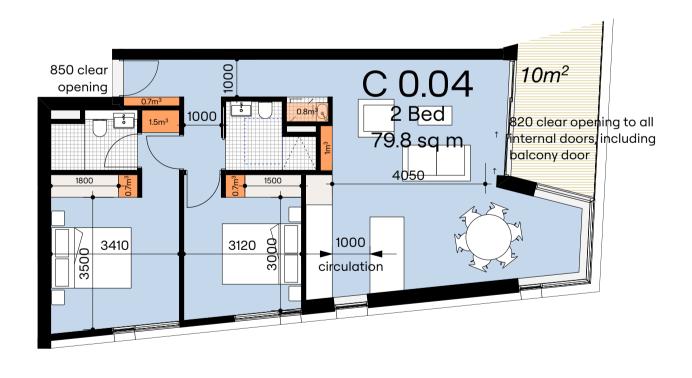
STORAGE 5.3m³ within apartment + basement

.0 (05) 0" 1 15

C0.03 (GF) Silver Level Design + additional 12m² private open space



STORAGE 13.7m³ within apartment



4 APT C0.04, C1.04, C2.04 Scale: 1:100

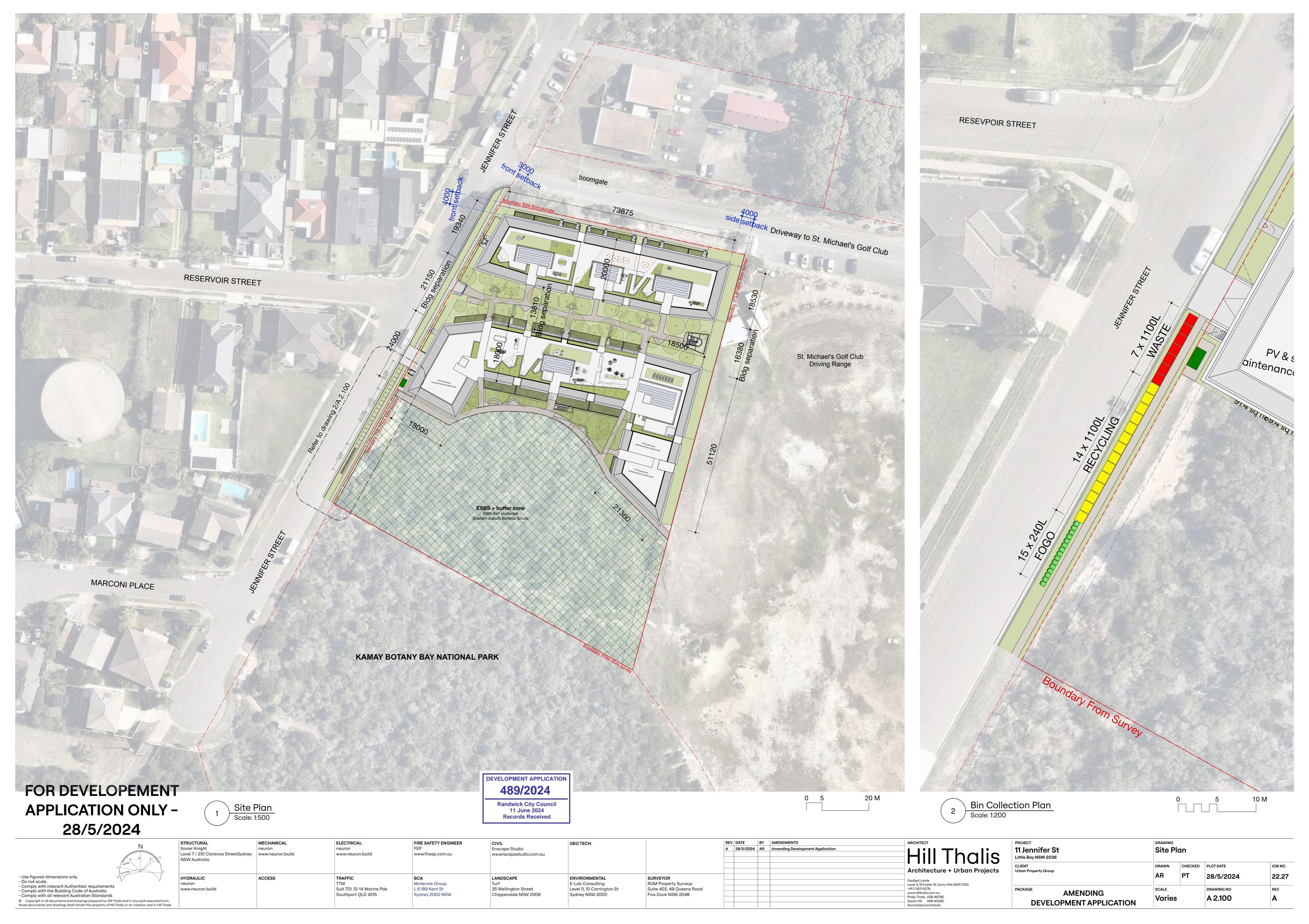
STORAGE 5.4m³ within apartment + basement

C0.04 (GF) Silver Level Design

FOR DEVELOPEMENT APPLICATION ONLY -02/08/24

	STRUCTURAL	MECHANICAL	ELECTRICAL	FIRE SAFETY ENGINEER	CIVIL	GEO TECH		REV DATE	BY AMENDMENTS	ARCHITECT	PROJECT	DRAWING		
	Xavier Knight	neuron	neuron	FEP	Enscape Studio			A 28/5/2024	AR Amending Development Application		11 Jennifer St	Anartment	Layouts - Core C	•
	Level 7 / 210 Clarence StreetSydney	www.neuron.build	www.neuron.build	www.fireep.com.au	ww.enscapestudio.com.au			B 2/8/2024	BS Revision to Amending Development Application			Aparament	Layouts Coic C	<i>'</i>
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										Architecture + Urban Projects	Urban Property Group	District Grizon	12012/112	1902.110
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- Comply with relevant Authorities' requirements	neuron		TTM	Mckenzie Group	Turf	E-Lab Consulting	RGM Property Surveys			Level 4, 15 Foster St, Surry Hills NSW 2010				
- Comply with the Building Code of Australia	www.neuron.build		Suit 701, 12-14 Marine Pde	L 6 189 Kent St	35 Wellington Street	Level 11, 10 Carrington St	Suite 402, 49 Queens Road			+61 2 9211 6276	PACKAGE	SCALE	DRAWING NO	REV
- Comply with all relevant Australian Standards			Southport QLD 4215	Sydney 2000 NSW	Chippendale NSW 2008	Sydney NSW 2000	Five Dock NSW 2046			www.hillthalis.com.au	AMENDING			_
Operate the first and described and described the Util Their and in account of first				, ,	''	' '				Philip Thalis ARB #6780		1:100	A 2.027	∣B
be copyright in all accuments and grawings prepared by hill infalls and in any work executed from										Sarah Hill ARB #5285	DEVELOPMENT APPLICATION			
those documents and arawings shall remain the property of Hill Thalls or on creation vest in Hill Thalls										Nominated Architects				





LEGEND

- Garbage room

- Landscape area to Landscape Architect's design

 Letterboxes - Motorbike parking

- Metal Roof Sheet (light grey)

- Photovoltaic panels Rainwater tank

- Substation to Authority requirements



VEHICLE METRICS (based on 98 apartments)

Residential car spaces = 130 (including 20 accessible spaces)

Visitor car spaces Motorbike spaces Residential Bicycle

= 10 visitor spaces on ground floor Visitor Bicycle

Boundary 80m from survey

DEVELOPMENT APPLICATION 489/2024 **Randwick City Council**

Lower Basement Level Floor Plan

A 2.108

113.8195m

11 June 2024 Records Received

22.27

FOR DEVELOPEMENT **APPLICATION ONLY -**28/5/2024

Lower Basement Level Floor Plan
Scale: 1:200

	STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio ww.enscapestudio.com.au	GEO TECH		AMENDMENTS Amending Development Application	Hill Thalis	PROJECT 11 Jennifer St Little Bay NSW 2036
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n alis	www.neuron.build		Suit 701, 12-14 Marine Pde Southport QLD 4215	L 6 189 Kent St Sydney 2000 NSW	35 Wellington Street Chippendale NSW 2008	Level 11, 10 Carrington St Sydney NSW 2000	Suite 402, 49 Queens Road Five Dock NSW 2046		Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalls.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285 Nominated Architects	AMENDING DEVELOPMENT APPLICATION

LEGEND

- Garbage room - Landscape area to Landscape Architect's design Motorbike parking

- Metal Roof Sheet (light grey) - Photovoltaic panels - Garage Door - Roof Structure

- Rainwater tank - Substation to Authority requirements

VEHICLE METRICS (based on 98 apartments)

Residential car spaces = 127 (including 20 accessible spaces) Visitor car spaces

Motorbike spaces Residential Bicycle

Visitor Bicycle = 10 visitor spaces on ground floor

FFL 44.70 FFL 44.30 1:40 FFL 44.30 FFL 44.70° Fan Room 5.5m x 3.4m/ Bicycle Storage 50B Folds in soffit above FFL 44.300 FFL 44.70 BULK WASTE FFL 44.30 (7.5x5.9) FOR INFORMATION

Boundary 80m from survey

113.8195m

1. Revise Residential Accommodation Schedule 2. Allowance for thickening of wall to accommodate new

structural loads of level 3 and roof setback

3. Increased vertical articulation zones to break up length o

4. Remove 1 bed unit. Units B01 and B02 become 3 bed.

5. Increase setback to 2.5m.

6. Revise unit layout and riser location to accommodate Level

3 setback 7. Increase setback to Level 3

8. Openings in roof

9. Remove concrete hood over articulation zone 10. Shift canopy east and revise landscape for more privacy to Jennifer Street

11. Reduce eaves overhang

11 Jennifer St Little Bay NSW 2036

CLIENT Urban Property Group

AMENDING

DEVELOPMENT APPLICATION

12. Reduce height of lift overrun.
13. Additional windows

14. Increased garbage bin rooms

Basement Level Floor Plan

13/9/2024

A 2.109

22.27

FOR DEVELOPEMENT **APPLICATION ONLY -**02/08/24

Basement Level Floor Plan

- Use figured dimensions only Do not scale Comply with relevant Authorities' requirements - Comply with the Building Code of Australia
- Comply with all relevant Australian Standards
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RUCTURAL	MECHANICAL	ELECTRICAL	FIRE SAFETY ENGINEER	CIVIL	GEO TECH		REV	DATE	BY	AMENDMENTS	ARCHITECT
vier Knight	neuron	neuron	FEP	Enscape Studio			Α	28/5/202	4 AR	Amending Development Application	
vel 7 / 210 Clarence StreetSydney	www.neuron.build	www.neuron.build	www.fireep.com.au	ww.enscapestudio.com.au			В	4/9/2024	AR	Revision to Amending Development Application	Hill Thalis
W Australia							С	11/9/2024	I AR	Revision to Amending Development Application	HIII I halis
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w.neuron.build		Suit 701, 12-14 Marine Pde	L 6 189 Kent St	35 Wellington Street	Level 11, 10 Carrington St	Suite 402, 49 Queens Road					+61 2 9211 6276
		Southport QLD 4215	Sydney 2000 NSW	Chippendale NSW 2008	Sydney NSW 2000	Five Dock NSW 2046					www.hillthalis.com.au
											Philip Thalis ARB #6780 Sarah Hill ARB #5285
											Nominated Architects







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E-Lab Consulting 35 Wellington Street Level 11, 10 Carrington St Chippendale NSW 2008 Sydney NSW 2000

RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046

Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 www.hillthalis.com.au

Philip Thalis ARB #6780

Sarah Hill ARB #5285

SCALE DRAWING NO

AMENDING

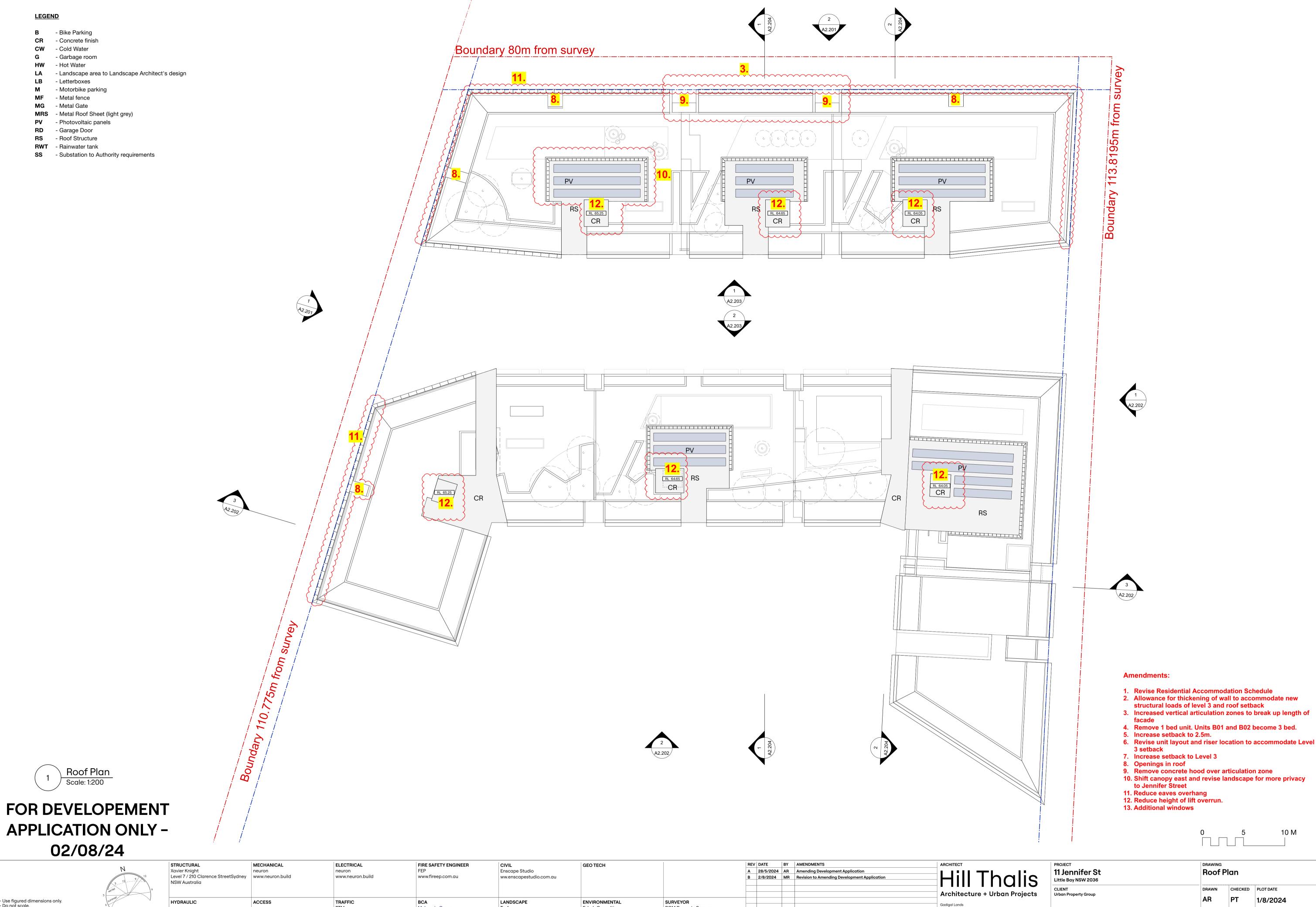
DEVELOPMENT APPLICATION

22.27

A 2.112







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Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 www.hillthalis.com.au Philip Thalis ARB #6780

Sarah Hill ARB #5285

SCALE DRAWING NO **AMENDING**

DEVELOPMENT APPLICATION

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A 2.115



Western Elevation - Jennifer Street
Scale: 1:200

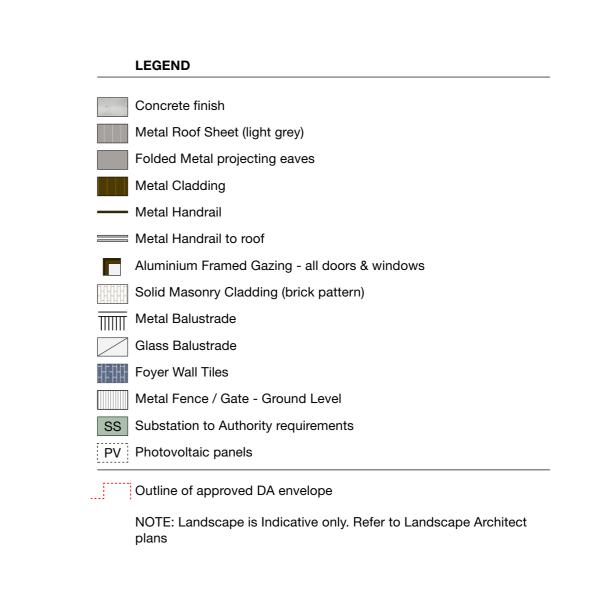


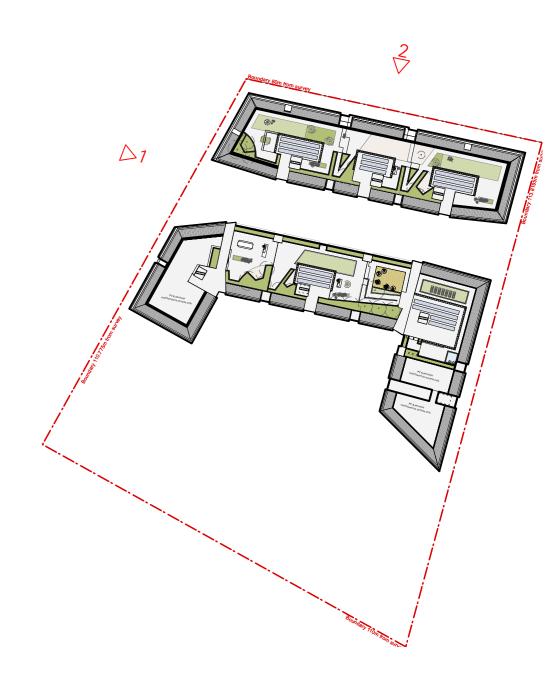
2 Northern Elevation - Crown Road
Scale: 1:200

Amendments:

- 1. Revise Residential Accommodation Schedule
- 2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
- 3. Increased vertical articulation zones to break up length of
- 4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
- 5. Increase setback to 2.5m. 6. Revise unit layout and riser location to accommodate Level
- 3 setback 7. Increase setback to Level 3
- 8. Openings in roof
- 9. Remove concrete hood over articulation zone
- 10. Shift canopy east and revise landscape for more privacy to Jennifer Street
- 11. Reduce eaves overhang
- 12. Reduce height of lift overrun.13. Additional windows

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N	STRUCTURAL Northrop L11 345 George Stree Sydney 200	MECHANICAL neuron 00 www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio www.enscapestudio.com.au	GEO TECH		REV DATE BY AMENDMENTS A 28/5/2024 AR Amending Development Application B 02/8/2024 BS Revision to Amending Development Application	Hill Thalis	PROJECT 11 Jennifer St Little Bay NSW 2036	DRAWING Elevations	
- Use figured dimensions only Do not scale.	HYDRAULIC neuron	ACCESS	TRAFFIC TTM	BCA Mckenzie Group	LANDSCAPE Turf	ENVIRONMENTAL E-Lab Consulting	SURVEYOR RGM Property Surveys		Architecture + Urban Projects Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010	CLIENT Urban Property Group	AR PT 1/8/2024	JOB NO 22.27
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South Elevation - Building A, B, C, and Central Courtyard

Scale: 1:200



North Elevation - South Building, Central Courtyard

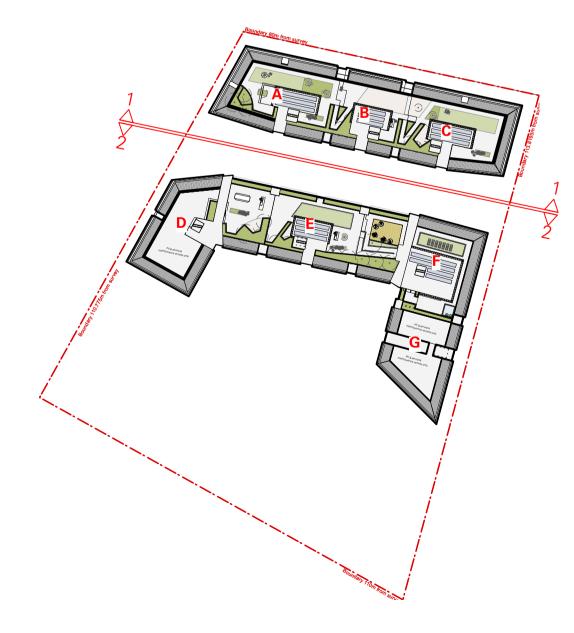
Scale: 1:200

LEGEND Concrete finish Metal Roof Sheet (light grey) Folded Metal projecting eaves Metal Cladding — Metal Handrail Metal Handrail to roof Aluminium Framed Gazing - all doors & windows Solid Masonry Cladding (brick pattern) Metal Balustrade Glass Balustrade Foyer Wall Tiles Metal Fence / Gate - Ground Level SS Substation to Authority requirements PV Photovoltaic panels Outline of approved DA envelope NOTE: Landscape is Indicative only. Refer to Landscape Architect

FOR DEVELOPEMENT **APPLICATION ONLY -**02/08/24



- 1. Revise Residential Accommodation Schedule
- 2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
- 3. Increased vertical articulation zones to break up length of
- 4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
- 5. Increase setback to 2.5m.6. Revise unit layout and riser location to accommodate Level
- 3 setback 7. Increase setback to Level 3
- 8. Openings in roof9. Remove concrete hood over articulation zone 10. Shift canopy east and revise landscape for more privacy to Jennifer Street
- 11. Reduce eaves overhang
- 12. Reduce height of lift overrun.
- 13. Additional windows

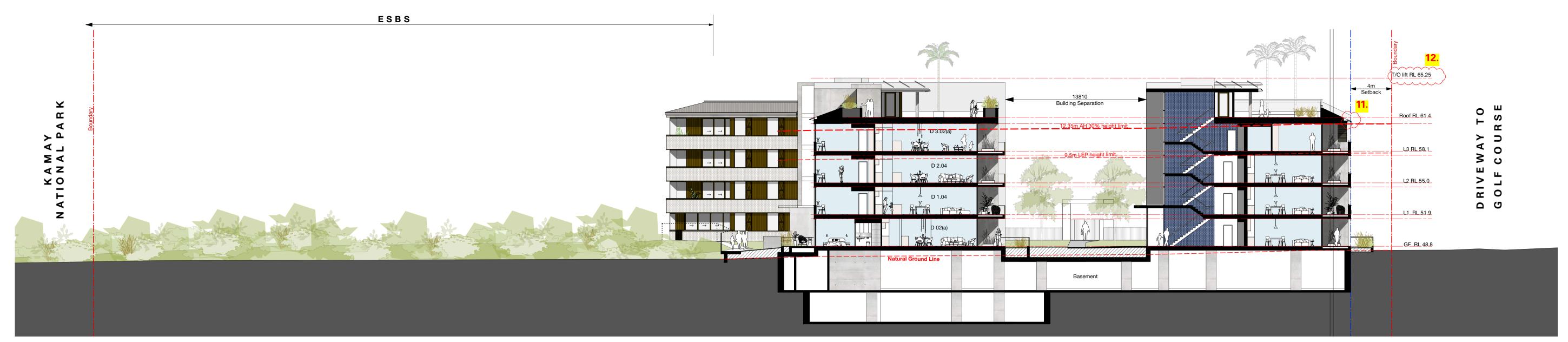


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PROJECT 11 Jennifer St Little Bay NSW 2036	Elevation / Section						
CLIENT Urban Property Group	DRAWN	снеске р	PLOT DATE 1/8/2024	јов NO 22.27			
AMENDING DEVELOPMENT APPLICATION	scale 1:200	@ A1	DRAWING NO A 2.203	REV B			



Section/Elevation Looking West
Scale: 1:200

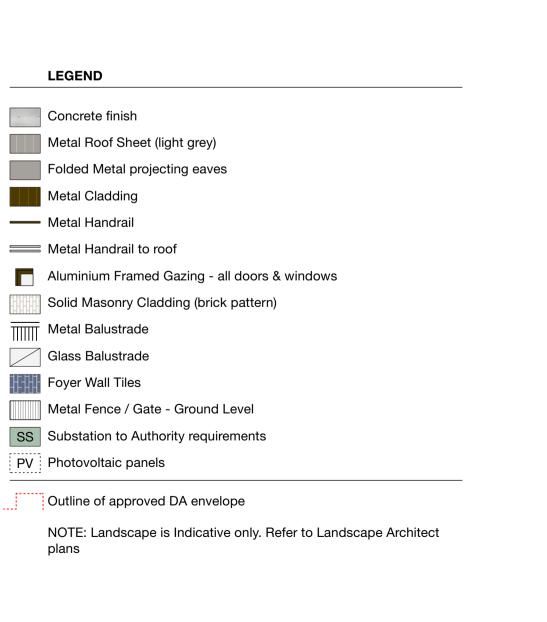


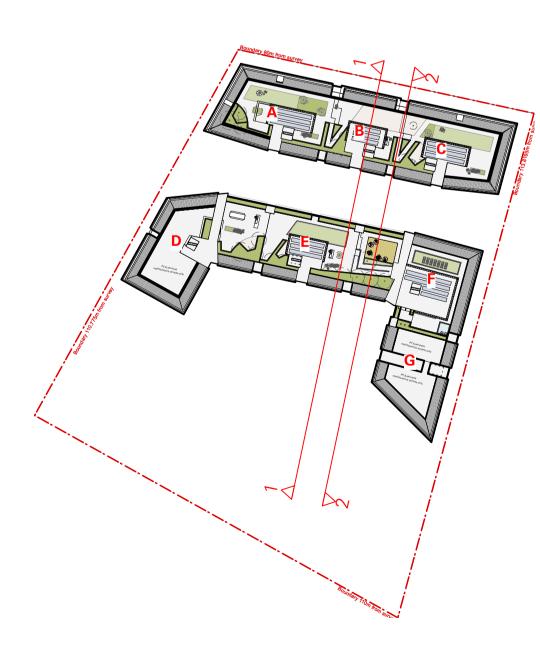
2 Section/Elevation-Looking East Scale: 1:200

Amendments:

- Revise Residential Accommodation Schedule
 Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
- 3. Increased vertical articulation zones to break up length of
- 4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
- 5. Increase setback to 2.5m.
- 6. Revise unit layout and riser location to accommodate Level
- 3 setback 7. Increase setback to Level 3
- 8. Openings in roof
- 9. Remove concrete hood over articulation zone
- 10. Shift canopy east and revise landscape for more privacy to Jennifer Street
- 11. Reduce eaves overhang
- 12. Reduce height of lift overrun.
 13. Additional windows

FOR DEVELOPEMENT **APPLICATION ONLY -**02/08/24





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1/8/2024

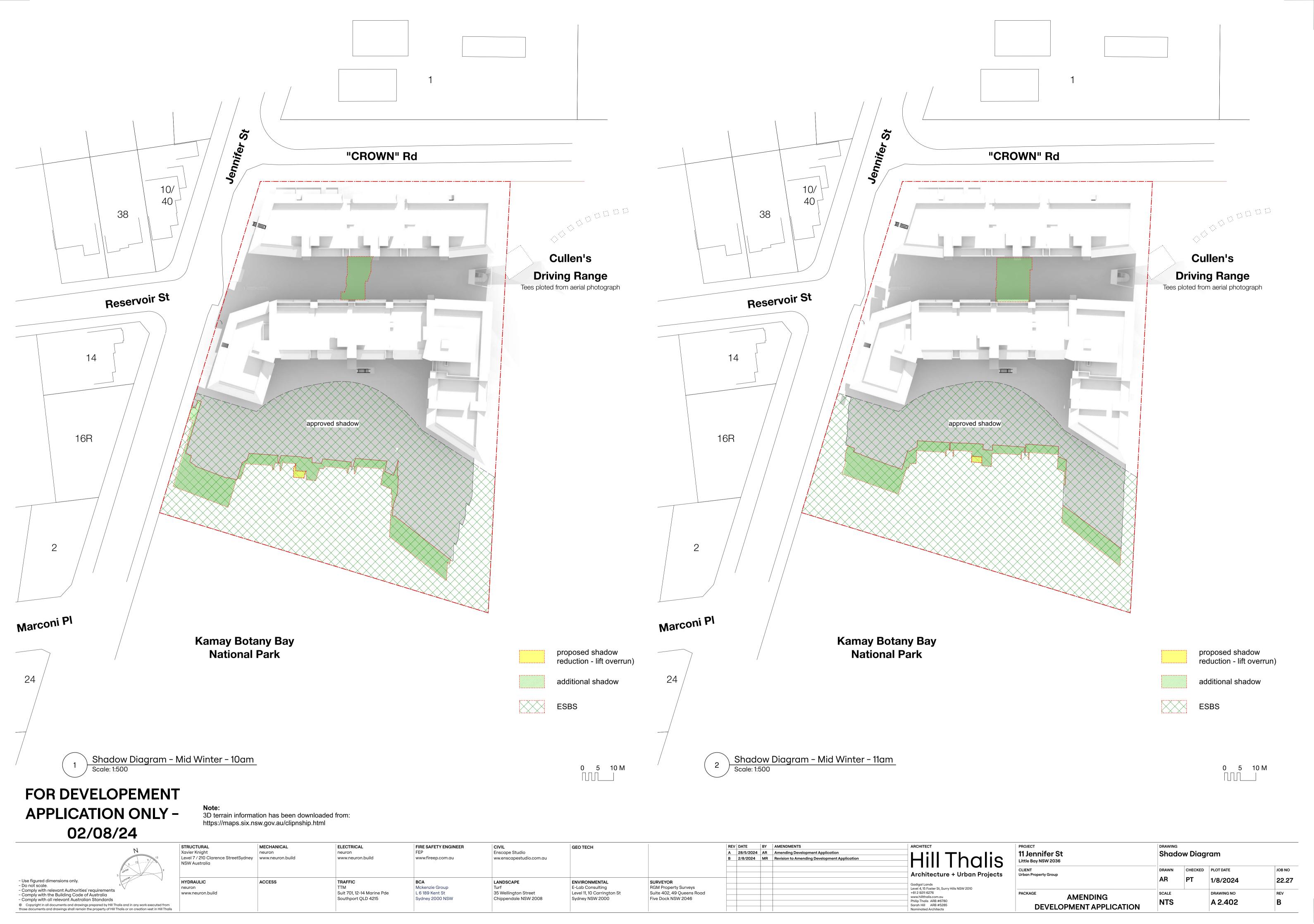
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Note:3D terrain information has been downloaded from: https://maps.six.nsw.gov.au/clipnship.html

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HYDRAULIC neuron	ACCESS	TRAFFIC TTM	BCA Mckenzie Group	LANDSCAPE Turf	ENVIRONMENTAL E-Lab Consulting	SURVEYOR RGM Property Surveys		Architecture + Urban Projects Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010	CLIENT Urban Property Group	DRAWN AR	РТ	PLOT DATE 1/8/202
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	11 Jennifer St Little Bay NSW 2036	Shadow Diagram						
	CLIENT Urban Property Group	DRAWN	CHECKED	PLOT DATE	JOB NO			
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	PACKAGE	SCALE		DRAWING NO	REV			
	DEVELOPMENT APPLICATION	NTS		A 2.404	В			

Gadigal Lands
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+61 2 9211 6276
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Philip Thalis ARB #6780
Sarah Hill ARB #5285
Nominated Architects



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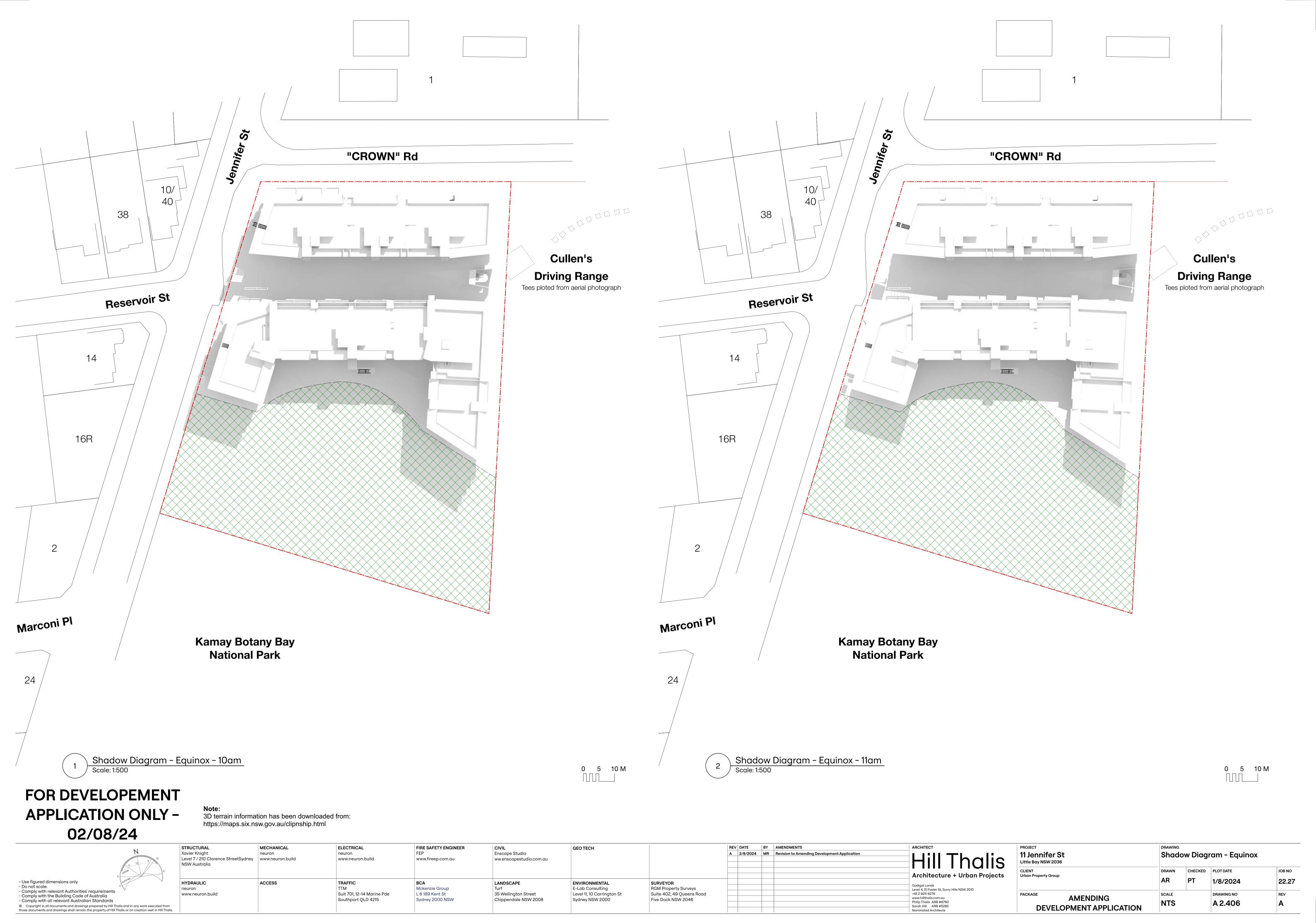
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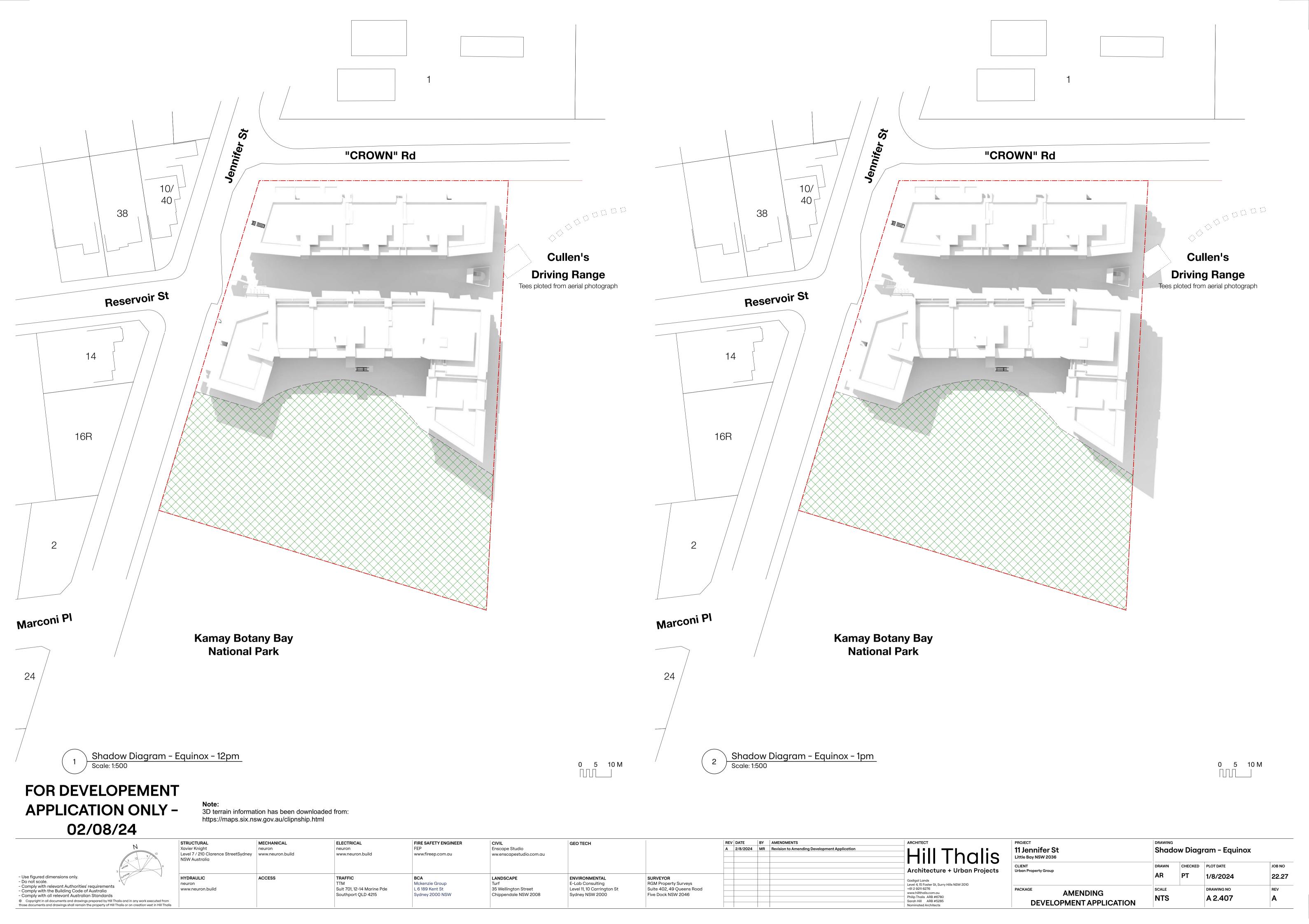
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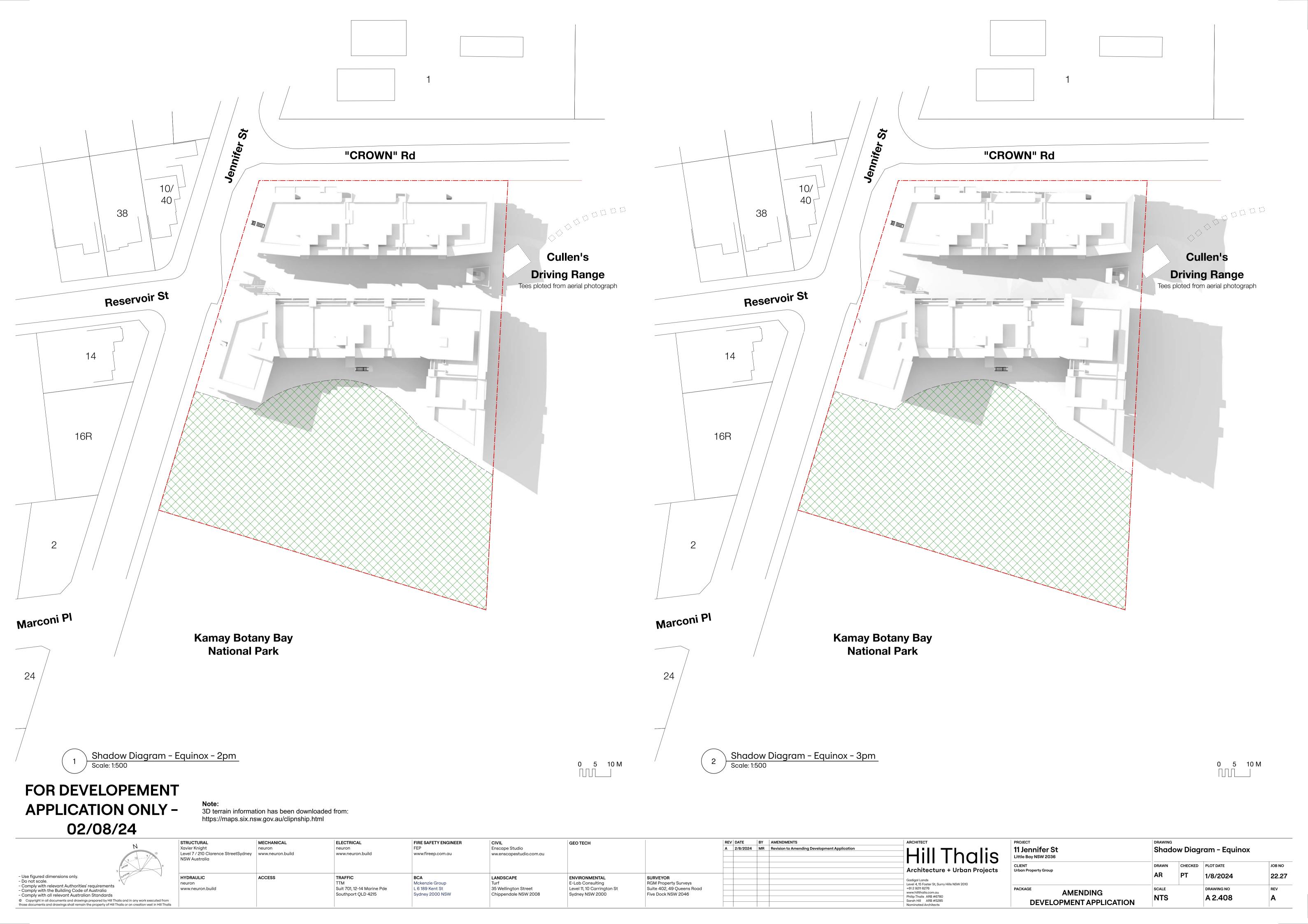
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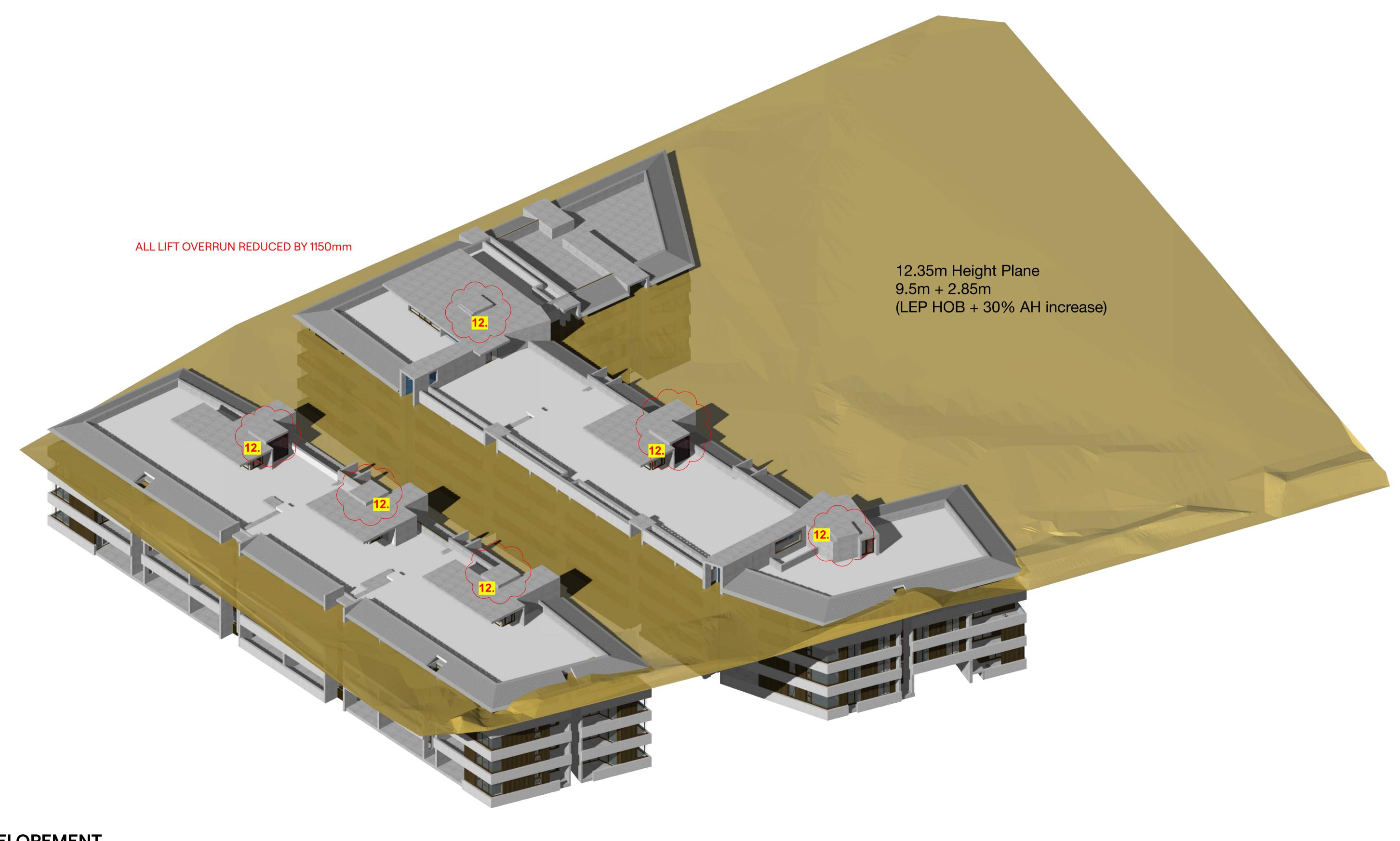
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								Architecture + Urban Projects
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046		Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285

PROJECT	DRAWING						
11 Jennifer St Little Bay NSW 2036	Shadow Diagram – Equinox						
CLIENT Urban Property Group	drawn AR	снеске р	1/8/2024	лов NO 22.27			
AMENDING DEVELOPMENT APPLICATION	SCALE NTS		A 2.405	A REV			









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om	HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000

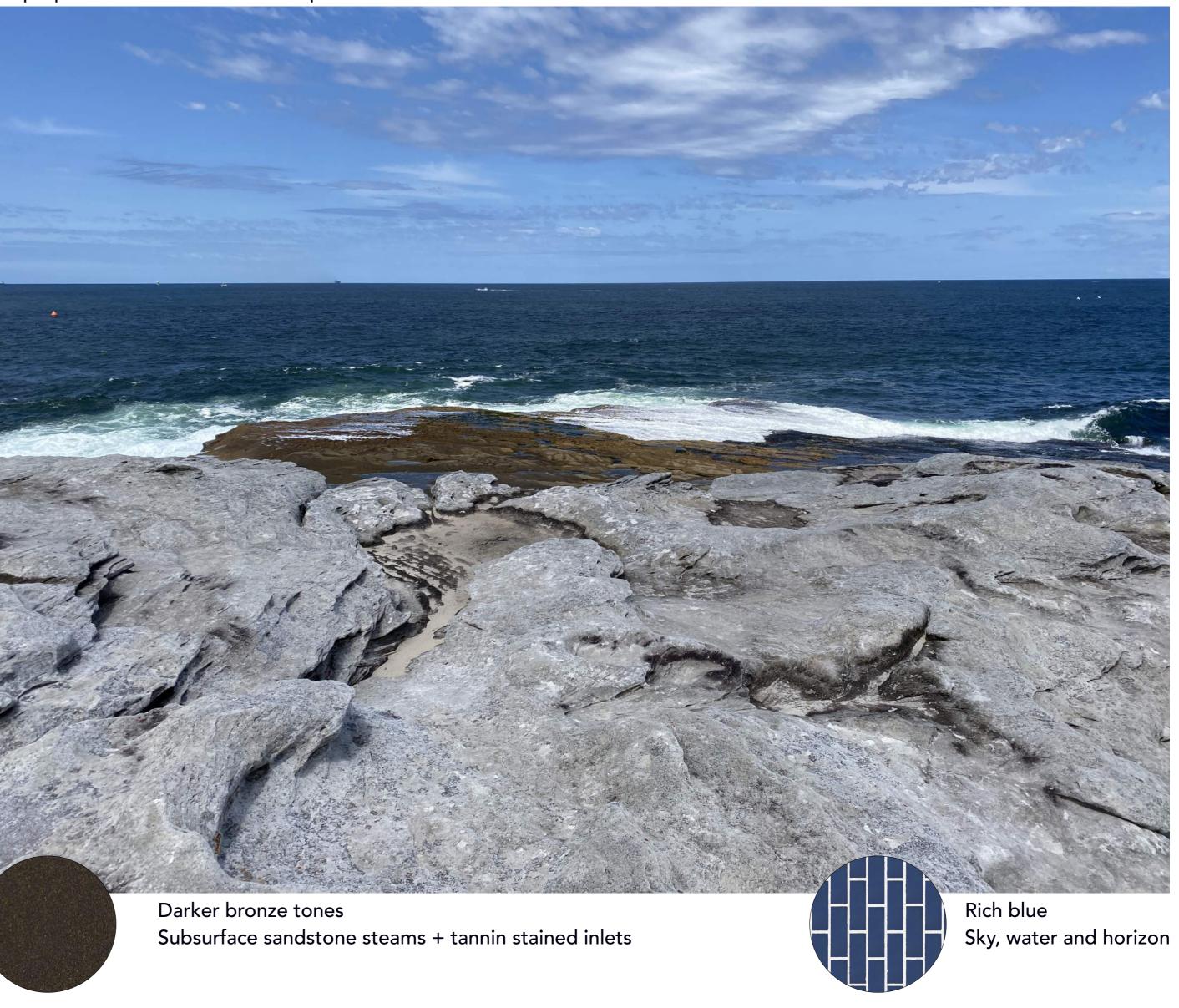
REV	DATE	BY	AMENDMENTS	ARCHITECT	PR
Α	28/5/2024	AR	Amending Development Application		11
В	2/8/2024	MR	Revision to Amending Development Application	Hill Thalis	Lit
				Architecture + Urban Projects	CLI
				Gadigal Lands	
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				www.hilkholis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285	
				Nominated Architects	

PROJECT 11 Jennifer St Little Bay NSW 2036	Height Plane Drawing					
CLIENT Urban Property Group	DRAWN AR	снеске р	PLOT DATE 1/8/2024	лов NO 22.27		
AMENDING DEVELOPMENT APPLICATION	SCALE NTS		A 2.501	B REV		



Generate a palette that blend and balance the proportions of the local landscape











Abstracted nautical imagery

Roof terraces
Reinforce a connection to the coastal view

Entry foyers
Abstracted lighthouses that guide the way

A89/2024 Randwick City Council 11 June 2024 Records Received

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