



11 JENNIFER ST

'COAST'

DRAWING LIST

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BASIX CERTIFICATE # 1349953M_04

NATHERS CERTIFICATE # TBC

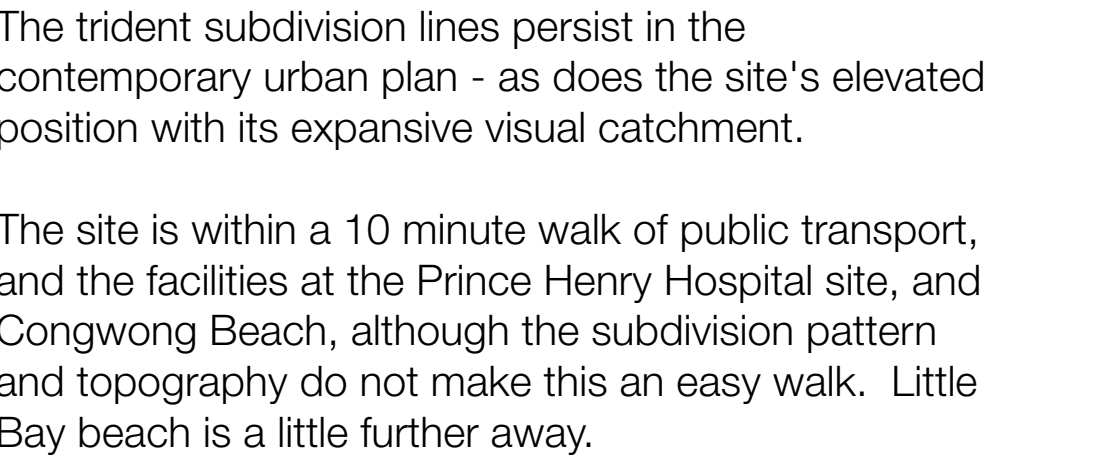
FOR DEVELOPMENT APPLICATION ONLY - 02/08/2024

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												<div>PACKAGE</div>	<div>AMENDING</div> <div>DEVELOPMENT APPLICATION</div>	<div>SCALE</div> <div>1:5000</div>	<div>DRAWING NO</div> <div>A 1.001</div>	<div>REV</div> <div>B</div>



Its relatively undisturbed environmental character meant that parts of the area have become the Kamay Botany Bay National Park.

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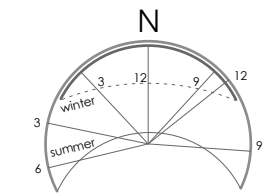
The recreational areas of Kamay National Park are more accessible via the Jennifer Street boardwalk through the adjacent Eastern Suburbs Banksia Scrub.

At upper levels, development would potentially achieve views towards Port Botany, to Congwong Bay, and expansive views towards the east.

Potentially, a select number of apartments could achieve both bay and ocean outlooks.

DEVELOPMENT APPLICATION
489/2024
Randwick City Council
11 June 2024
Records Received

FOR DEVELOPMENT APPLICATION ONLY - 28/5/2024



STRUCTURAL Northrop L11 345 George Street Sydney 2000 NSW		MECHANICAL neuron www.neuron.build		ELECTRICAL neuron www.neuron.build		FIRE SAFETY ENGINEER		CIVIL Enscape Studio www.enscapestudio.com.au		GEO TECH				REV / DATE BY AMENDMENTS A 28/5/2024 AR Amending Development Application		ARCHITECT <h1>Hill Thalís</h1> Architecture + Urban Projects <small>Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 921 6276 www.hillthalis.com.au Philip Thalís ARB #6780 Sarah Hill ARB #5235 Nominated Architects</small>		PROJECT 11 Jennifer St Little Bay NSW 2036		DRAWING Topographic Situation							
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																		PACKAGE AMENDING DEVELOPMENT APPLICATION		SCALE 1:5000		DRAWING NO A 1.011		REV A			



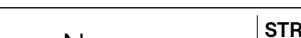
- 6 storey volume
- 5 storey volume
- 4 storey volume
- 3 storey volume

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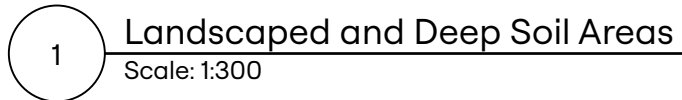
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									<div>AMENDING DEVELOPMENT APPLICATION</div>				



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 Deep Soil Area
 Landscaped Area
 ESBS - Eastern Suburbs Banksia Shrubs

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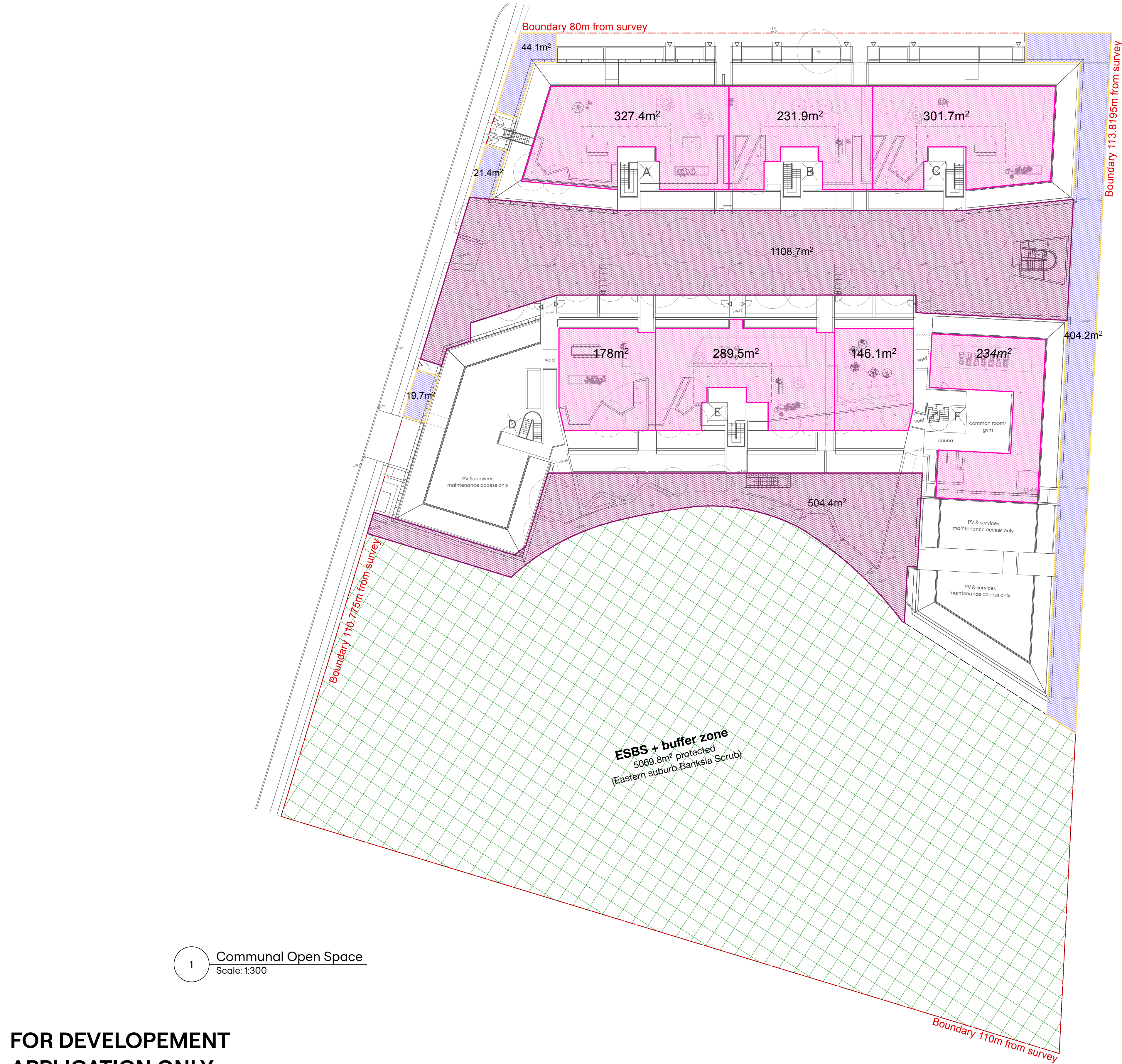
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COMMUNAL OPEN SPACE

ROOF	areas in sqm
Roof A	327.4
Roof B	231.9
Roof C	301.7
Roof D	178
Roof E	289.5
Roof F	380.2
Roof G	0
Roof Total	1708.7

GROUND FLOOR	
Central	1108.7
Southern	504.4
GF Total	1613.1

Combined Total	3321.8
req. Communal Open Space 25% of site area	2903

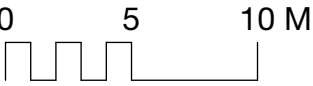
Note: Areas along Jennifer St, the eastern boundary and 5069.8 sqm of ESBS and buffer zone have not been included into the communal open space calculation.

- Communal Open Space on GF
- Communal Open Space on GF, not included
- Communal Open Space on roof terraces
- ESBS - Eastern Suburbs Banksia Shrubs, not included

1 Communal Open Space
Scale: 1:300

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28/5/2024

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1. **Revise Residential Accommodation Schedule**
2. **Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback**
3. **Increased vertical articulation zones to break up length of facade**
4. **Remove 1 bed unit. Units B01 and B02 become 3 bed.**
5. **Increase setback to 0.25m.**
6. **Revise unit layout and riser location to accommodate Level 3 setback**
7. **Increase Setback to Level 3**
8. **Openings in roof**
9. **Remove concrete hood over articulation zone**
10. **Shift canopy east and revise landscape for more privacy to Jennifer Street**
11. **Reduce eaves overhang**
12. **Reduce height of lift overrun.**
13. **Additional windows**
14. **Increased garbage bin rooms**

 GFA
 GFA AH



1 Ground Floor Plan GFA
Scale: 1:500



2 Level 1 Floor Plan GFA
Scale: 1:500



3 Level 2 Floor Plan GFA
Scale: 1:500

CONTROLS					
	Court controls	LEP	30%BONUS	Total	AH
Site Area				11612 sqm	
FSR max	0.7	0.75	0.225	0.975 :1	0.14625 :1
GFA max	8128.4	8709	2612.7	11321.7 sqm	1698 sqm
Proposed GFA				11321.7 sqm	
Proposed FSR				0.975 :1	
Proposed GFA AH				GFA of dedicated apartments	1712 sqm



4 Level 3 Floor Plan GFA
Scale: 1:500



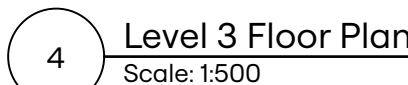
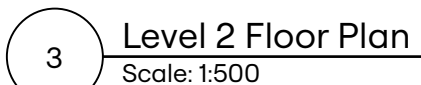
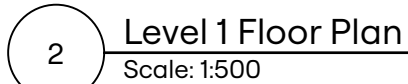
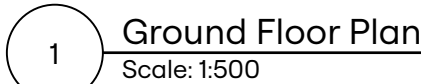
5 Roof Terrace GFA
Scale: 1:500

PROPOSED GFA and FSR							APARTMENTS		GFA sqm	
CORE	Level	1 bed	2 bed	3+ bed	TOTAL	ACCESSIBLE	Private	Common		
A	G		3	1	4	1	412.4	16.1		
	1		3	1	4	1	412.4	8.3		
	2		3	1	4	1	412.4	8.3		
	3		1	2	3	0	381.6	8.3		
	4									
B	G	0	0	2	2	2	271.5	10.7		
	1	0	0	2	2	2	271.5	2.7		
	2	0	0	2	2	2	271.5	2.7		
	3			2	2	2	271.5	2.7		
	4							5.1		
C	G		3	1	4		421.7	15		
	1		3	1	4		421.7	7.2		
	2		3	1	4		421.7	7.2		
	3		1	2	3		396.1	7.2		
	4									
D	G	1	1	2	4	1	420.8	35.1		
	1	1	2	2	5	1	510.1	35.1		
	2	1	2	2	5	1	510.1	30.4		
	3	1		3	4	1	489.6	32.5		
	4							23.8		
E	G			2	2	2	323.7	21.1		
	1		1	2	3	1	342.2	7.1		
	2		1	2	3	1	342.2	7.1		
	3		1	2	3	1	342.2	7.1		
	4							5.1		
F	G	1	2	2	5	1	497.1	31.3		
	1	1	2	2	5	1	497.1	31.2		
	2	1	2	2	5		497.1	23.9		
	3	1		3	4		497.3	31.2		
	4							70.5		
G	G			2	2		287.9	16.3		
	1			2	2		287.9	6.1		
	2			2	2		287.9	9.1		
	3			2	2		287.9	9.1		
	4									
		8	34	52	94	22	1078.1	534.6		
Split Accessible (20%)		9%	36%	55%		19	Total GFA	11321.7		
							max GFA	11321.7		
							FSR	0.975		

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Residential Accommodation Schedule																		
Core	Level	Unit No.	Type	Area		X-Ventilated	Solar Access		Hourly Breakdown								Total	
				Internal (sqm)	Private Open Space (sqm)		Compliance (>2hrs)*	Time Period (9am - 3pm)	8am	9am	10am	11am	12pm	1pm	2pm	3pm		4pm
A	0	01	2 Bed	89.1	10.0	✓	✓	> 3 hr					x	x	x	x	x	x
		02(a)	2 Bed	96.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		03	2 Bed	82.3	17.7	X	✓	> 3 hr			x	x	x	x	x	x	x	
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr			x	x	x	x	x	x	x	
B	0	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
C	0	01	3 Bed	120.8	13.6	✓	✓	3 hr	x	x	x	x	x	x	x	x	x	
		02	2 Bed	82.3	17.7	X	✓	3 hr	x	x	x	x	x	x	x	x	x	
		03	2 Bed	118.2	23.8	✓	✓	3 hr	x	x	x	x	x	x	x	x	x	
		04	2 Bed	79.9	10.0	✓	X	1 - 1.5 hr	x	x	x	x	x	x	x	x	x	
D	0	01	2 Bed	100.9	24.0	✓	X	0										
		02	3 Bed	128.8	18.3	✓	✓	> 3 hr		x	x	x	x	x	x	x	x	
		03	1 Bed	53.4	12.4	X	✓	3 hr				x	x	x	x	x	x	
		04	3 Bed	117.4	12.5	✓	✓	2 hr					x	x	x	x	x	
E	0	01(a)	4 Bed	149.8	23.0	✓	X	0										
		02(a)	4 Bed	153.8	23.0	✓	X	0									x	
F	0	01	3 Bed	117.4	12.5	✓	X	< 0.5 hr										
		02	1 Bed	53.4	12.4	X	✓	0										
		03	2 Bed	84.2	13.8	X	✓	0										
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
G	0	01	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	x	x	x							
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr	x	x	x							
A	1	01	2 Bed	89.1	10.0	✓	✓	> 3 hr										
		02(a)	2 Bed	96.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
B	1	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
C	1	01	3 Bed	120.8	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		02	2 Bed	82.3	17.7	X	✓	3 hr	x	x	x	x	x	x	x	x	x	
		03	2 Bed	118.2	23.8	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		04	2 Bed	79.9	10.0	✓	X	1 - 1.5 hr	x	x	x	x	x	x	x	x	x	
D	1	01	2 Bed	89.4	12.8	✓	X	0										
		02	2 Bed	90.2	19.3	✓	✓	> 3 hr										
		03(a)	3 Bed	128.8	18.3	✓	✓	> 3 hr										
		04	1 Bed	53.4	12.4	X	✓	0										
E	1	01	3 Bed	117.4	12.5	✓	✓	> 3 hr										
		02	2 Bed	107.1	12.5	✓	✓	> 3 hr										
		02(a)	2 Bed	101.5	22.4	X	✓	> 3 hr										
		03	3 Bed	112.2	12.5	✓	✓	> 3 hr										
F	1	01	3 Bed	117.4	12.5	✓	✓	3 hr										
		02	1 Bed	53.4	12.4	X	✓	> 3 hr										
		03	2 Bed	84.2	13.8	X	✓	> 3 hr										
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
G	1	01	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	x	x	x							
		02	4 Bed	166.2	20.7	✓	✓	1 - 1.5 hr	x	x	x							
A	2	01	2 Bed	89.1	10.0	✓	✓	> 3 hr	x	x	x							
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
B	2	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	
C	2	01	3 Bed	120.8	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x	x	

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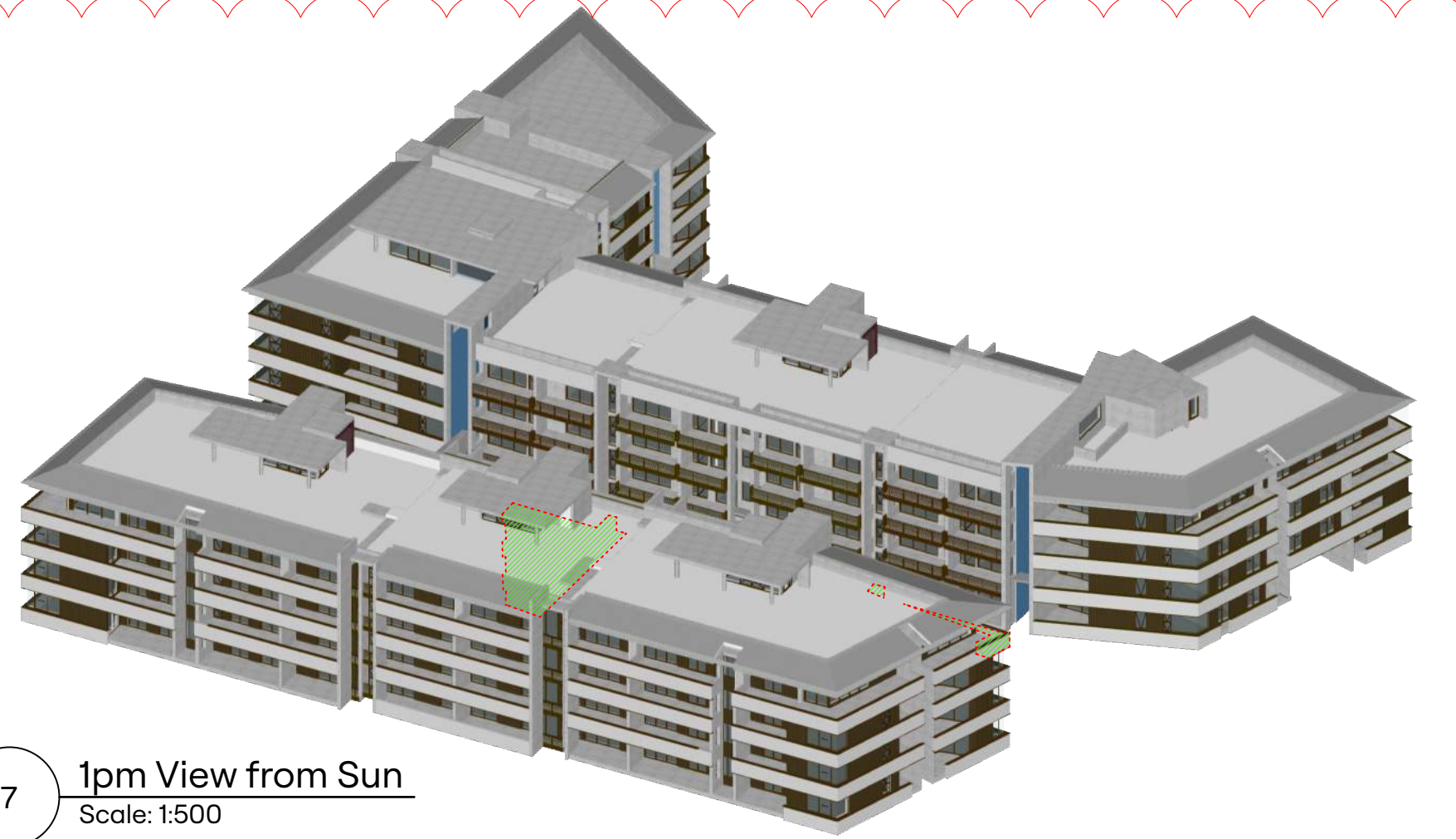
STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Encscape Studio www.enscapestudio.com.au	GEO TECH		REV DATE	BY	AMENDMENTS					
							A 28/5/2024	AR	Amending Development Application					
							B 2/8/2024	MR	Revision to Amending Development Application					
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA McKenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046	<div>ARCHITECT</div> <div>Hill Thalís</div> <div>Architecture + Urban Projects</div> <div>Gadgil Lands Level A, 16 Foster St, Surry Hills NSW 2010 +61 2 921 6276 www.hillthalis.com.au Philip Thalis ARB #6780 Sarah Hill ARB #5285 Nominated Architects</div>			<div>PROJECT</div> <div>11 Jennifer St</div> <div>Little Bay NSW 2036</div> <div>CLIENT</div> <div>Urban Property Group</div> <div>PACKAGE</div> <div>AMENDING DEVELOPMENT APPLICATION</div>			<div>DRAWING</div> <div>Cross Ventilation</div> <div>DRAWN</div> <div>PT</div> <div>PLOT DATE</div> <div>1/8/2024</div> <div>JOB NO</div> <div>22.27</div> <div>SCALE</div> <div>1:200</div> <div>DRAWING NO</div> <div>A 2.023</div> <div>REV</div> <div>B</div>	



1 7:30am View from Sun
Scale: 1:500



4 10am View from Sun
Scale: 1:500



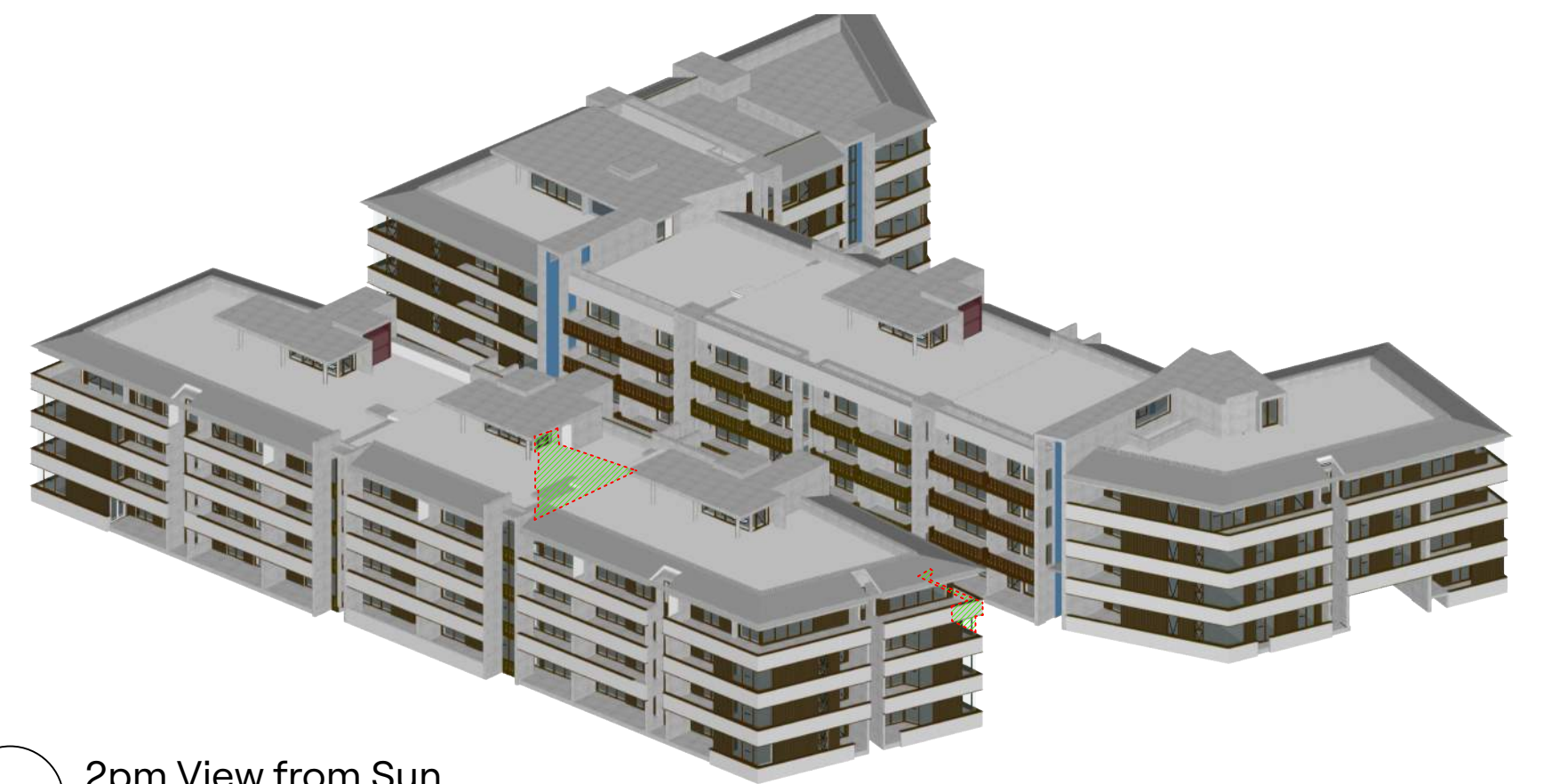
7 1pm View from Sun
Scale: 1:500



2 8am View from Sun
Scale: 1:500



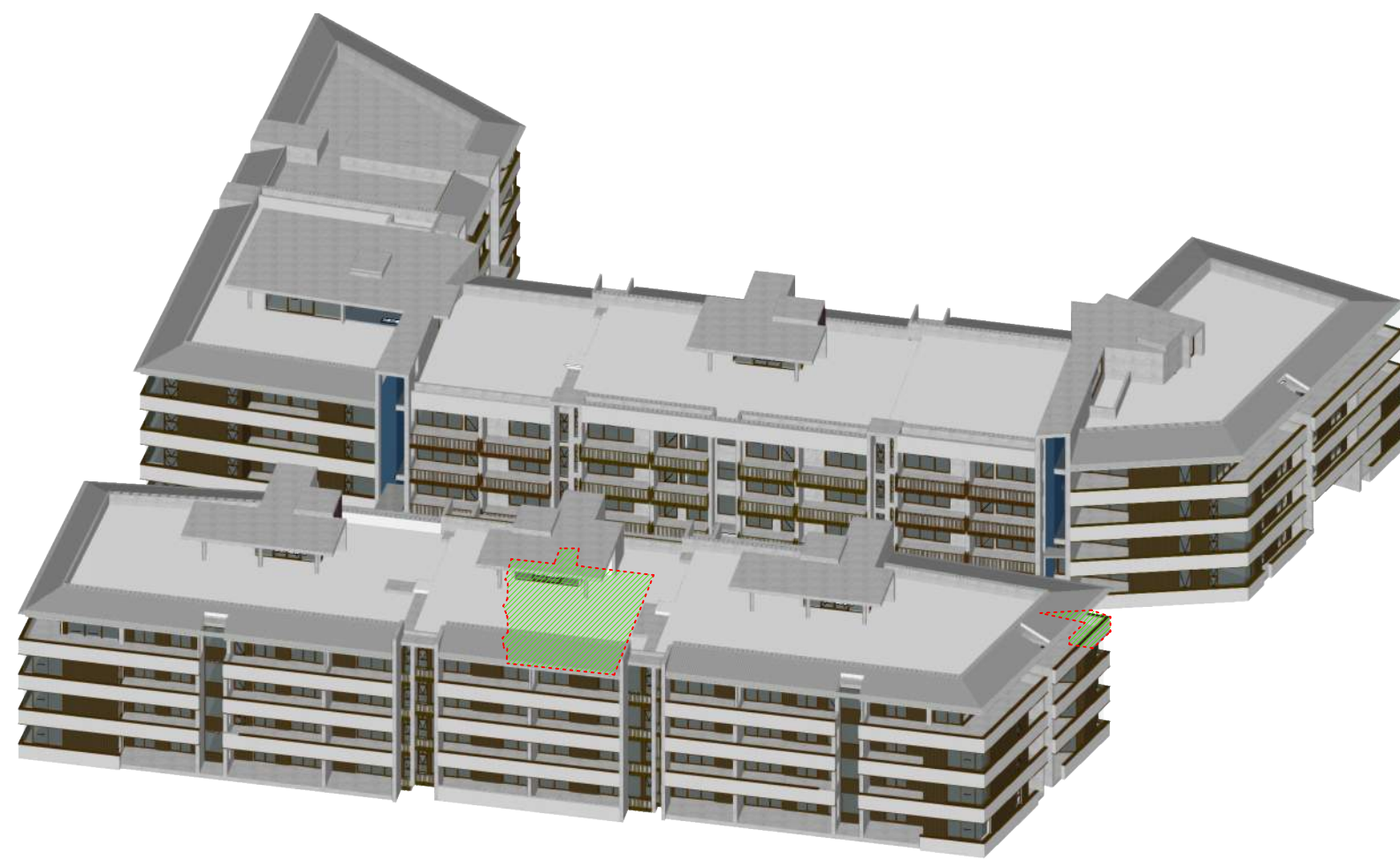
5 11am View from Sun
Scale: 1:500



8 2pm View from Sun
Scale: 1:500



3 9am View from Sun
Scale: 1:500



6 12pm View from Sun
Scale: 1:500



9 3pm View from Sun
Scale: 1:500



10 4:30pm View from Sun
Scale: 1:500

Additional overshadowing
to central courtyard

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Xavier Knight
Level 7, 210 Clarence StreetSydney
NSW Australia

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CIVIL
Enscape Studio
www.enscapestudio.com.au

GEO TECH

REV DATE BY AMENDMENTS
A 2/8/2024 MR Revision to Amending Development Application

ARCHITECT
Hill Thalys
Architecture + Urban Projects

Godigal Lands
Level 4, 15 Foster St, Surry Hills NSW 2010
v15.0201.0276
www.hillthalis.com.au
Philip Thalis ARB #6780
Sarah Hill ARB #5285
Nominated Architects

PROJECT
11 Jennifer St
Little Bay NSW 2036

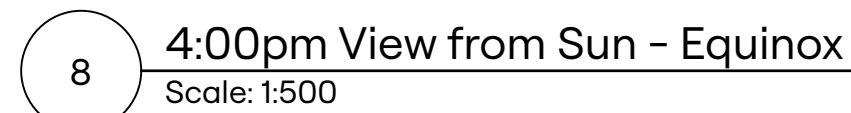
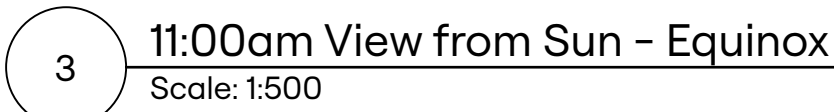
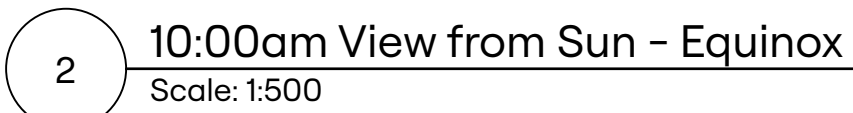
CLIENT
Urban Property Group

PACKAGE
**AMENDING
DEVELOPMENT APPLICATION**

DRAWING
Solar Access - Mid Winter

DRAWN AR CHECKED PT PLOT DATE 1/8/2024 JOB NO 22.27

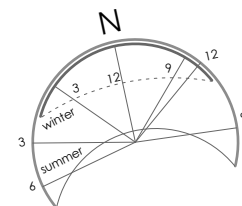
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STRUCTURAL Xavier Knight Level 7 / 210 Clarence Street Sydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio www.enscapestudio.com.au	GEO TECH		SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046	REV DATE BY AMENDMENTS
								A 2/8/2024 MR Revision to Amending Development Application
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Toll 701, 12-14 Marine Pde Southport QLD 4215	BCA McKenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000		ARCHITECT Hill Thalís Architecture + Urban Projects Goodgal Lands Level 6, 15 Foster St, Surry Hills NSW 2010 +61 2 9211 6276 www.hillthalis.com.au Ph: 02 9211 6276 Sarah Hill ARB #15285 Nominatied Architects	PROJECT 11 Jennifer St Little Bay NSW 2036
								CLIENT Urban Property Group
								DRAWN CHECKED PLOT DATE JOB NO
								AR PT 1/8/2024 22.27
								PACKAGE
								AMENDING DEVELOPMENT APPLICATION
								SCALE DRAWING NO REV
								1:200 A 2.024b A

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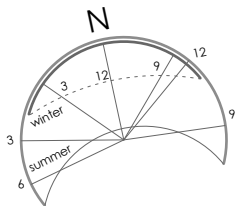
<div><ul style="list-style-type: none">- Use figured dimensions only.- Do not scale.- Comply with relevant Authorities' requirements- Comply with the Building Code of Australia- Comply with all relevant Australian Standards<p>© Copyright in all documents and drawings prepared by Hill Thalís and in any work executed from those documents and drawings shall remain the property of Hill Thalís or an creation vest in Hill Thalís</p></div>	STRUCTURAL Xavier Knight Level 7 / 210 Clarence Street Sydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscape Studio www.enscapestudio.com.au	GEO TECH		REV	DATE	BY	AMENDMENTS	ARCHITECT Hill Thalís Architecture + Urban Projects Gadigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9221 6276 www.hillthalis.com.au Philip Thalis ARB #6760 Sarah Hill ARB #5285 Nominated Architects	PROJECT 11 Jennifer St Little Bay NSW 2036	DRAWING Solar Access			
	HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA McKenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Corrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046						CLIENT Urban Property Group	DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	JOB NO 22.27
													PACKAGE AMENDING DEVELOPMENT APPLICATION	SCALE 1:200	DRAWING NO A 2.024	REV B	

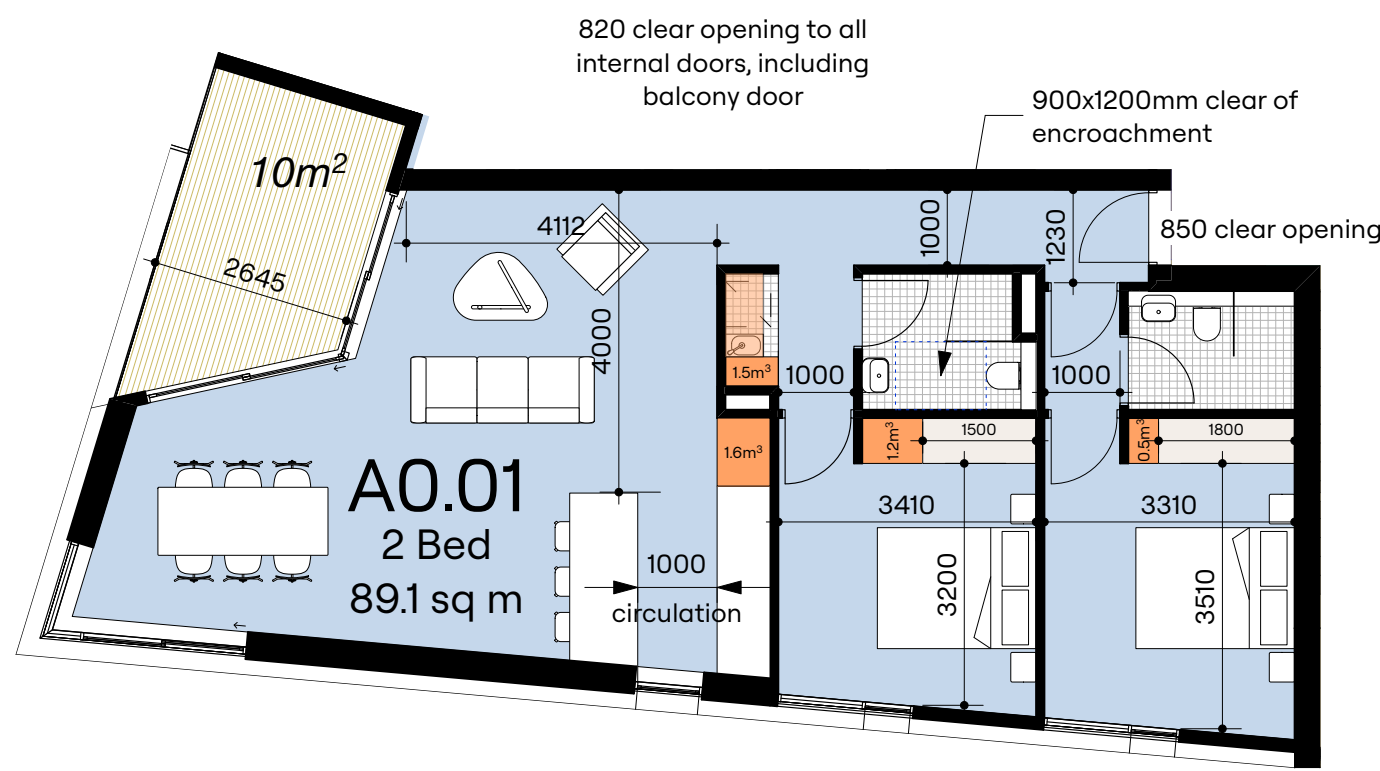
ADG Compliance Checklist						
Residential Class Units		Units	Total	%	compliance	
Solar Access	> 2hrs mid winter sun	75	94	80%	✓	
At least 70% of residential units must receive >2hrs of sun in mid-winter		≤ 2 hrs mid winter sun	11	94	12%	✓
		0 hrs mid winter sun	8	94	9%	✓
Cross Ventilation	min openings achieved	72	94	77%	✓	
At least 60% of residential units must be naturally cross ventilated		*Minimum openings required = 2.5% of internal unit area				
Adaptability	silver level adaptable	22	94	23%	✓	
At least 20% of residential units incorporate silver level universal design features						

Residential Accomodation Schedule																
Core	Level	Unit No.	Type	Area		X-Ventilated	Solar Access		Hourly Breakdown							
				Internal (sqm)	Private Open Space (sqm)		Compliance (>2hrs)*	Time Period (9am - 3pm)	8am	9am	10am	11am	12pm	1pm	2pm	3pm
A	0	01	2 Bed	89.1	10.0	✓	✓	> 3 hr				x	x	x	x	x
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	x	x	x	x	x	x	x	x
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
B	0	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
C	0	01	3 Bed	120.8	13.6	✓	✓	3 hr	x	x	x	x	x	x	x	x
		02	2 Bed	82.3	17.7	X	✓	3 hr	x	x	x	x	x	x	x	x
		03	2 Bed	118.2	23.8	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		04	2 Bed	79.8	10.0	✓	X	1 - 1.5 hr	x	x	x					
D	0	01	2 Bed	100.9	24.0	✓	X	0								
		02	3 Bed	128.8	18.3	✓	✓	> 3 hr		x	x	x	x	x	x	x
		03	1 Bed	53.4	12.4	X	✓	3 hr				x	x	x	x	x
		04	3 Bed	117.4	12.5	✓	✓	2 hr					x	x	x	x
E	0	01(a)	4 Bed	149.8	23.0	✓	X	0								
		02(a)	4 Bed	153.8	23.0	✓	X	0								
F	0	01	3 Bed	117.4	12.5	✓	X	< 0.5 hr						x		
		02	1 Bed	53.4	12.4	X	X	0								
		03	2 Bed	84.2	13.8	X	X	0								
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	x	x	x	x	x	x	x	x
G	0	01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	x	x						
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr	x	x	x			x	x	x
A	1	01	2 Bed	89.1	10.0	✓	✓	> 3 hr	x			x	x	x	x	x
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	x	x	x	x	x	x	x	x
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
B	1	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
C	1	01	3 Bed	120.8	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		02	2 Bed	82.3	17.7	X	✓	3 hr	x	x	x	x	x	x	x	x
		03	2 Bed	118.2	23.8	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
D	1	04	2 Bed	79.8	10.0	✓	X	1 - 1.5 hr	x	x						
		01	2 Bed	89.4	12.8	✓	X	0					x	x	x	x
		02	2 Bed	90.2	19.3	✓	✓	> 3 hr					x	x	x	x
		03(a)	3 Bed	128.8	18.3	✓	✓	> 3 hr			x	x	x	x	x	x
		04	1 Bed	53.4	12.4	X	✓	> 3 hr								
E	1	05	3 Bed	117.4	12.5	✓	✓	> 3 hr		x	x	x	x	x	x	x
		01	3 Bed	107.1	12.5	✓	✓	> 3 hr				x	x	x	x	x
		02(a)	2 Bed	101.5	22.4	X	✓	> 3 hr				x	x	x	x	x
		03	3 Bed	112.2	12.5	✓	✓	> 3 hr				x	x	x	x	x
		01	3 Bed	117.4	12.5	✓	✓	3 hr				x	x	x	x	x
F	1	02	1 Bed	53.4	12.4	X	✓	> 3 hr				x	x	x	x	x
		03	2 Bed	84.2	13.8	X	✓	> 3 hr				x	x	x	x	x
		04(a)	2 Bed	101.9	14.0	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		05	3 Bed	111.3	18.4	✓	X	1 - 1.5 hr	x	x						
G	1	01	3 Bed	109.5	18.4	✓	X	1 - 1.5 hr	x	x						
		02	4 Bed	166.2	20.7	✓	✓	> 3 hr	x	x			x	x	x	x
A	2	01	2 Bed	89.1	10.0	✓	✓	> 3 hr				x	x	x	x	x
		02(a)	2 Bed	98.5	17.3	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		03	2 Bed	82.3	17.7	X	✓	> 3 hr	x	x	x	x	x	x	x	x
		04	3 Bed	120.2	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
B	2	01(a)	3 Bed	134.2	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
		02(a)	3 Bed	119.8	18.5	✓	✓	> 3 hr	x	x	x	x	x	x	x	x
C	2	01	3 Bed	120.8	13.6	✓	✓	> 3 hr	x	x	x	x	x	x	x	x

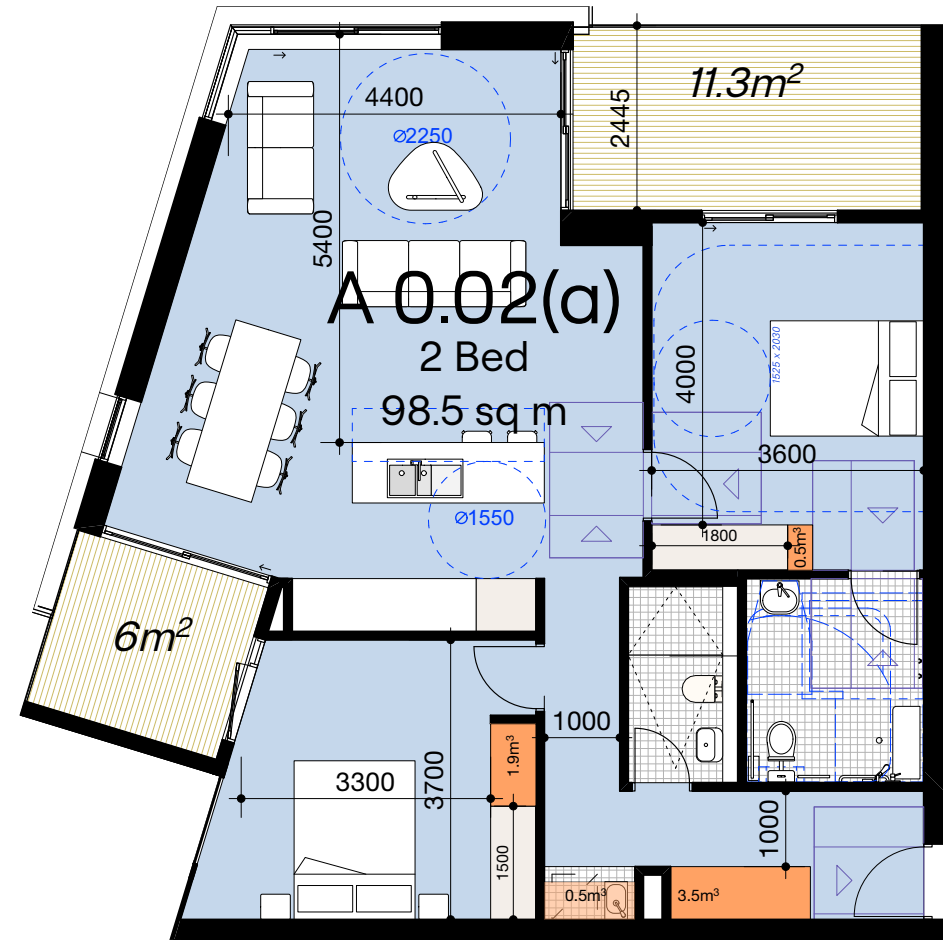
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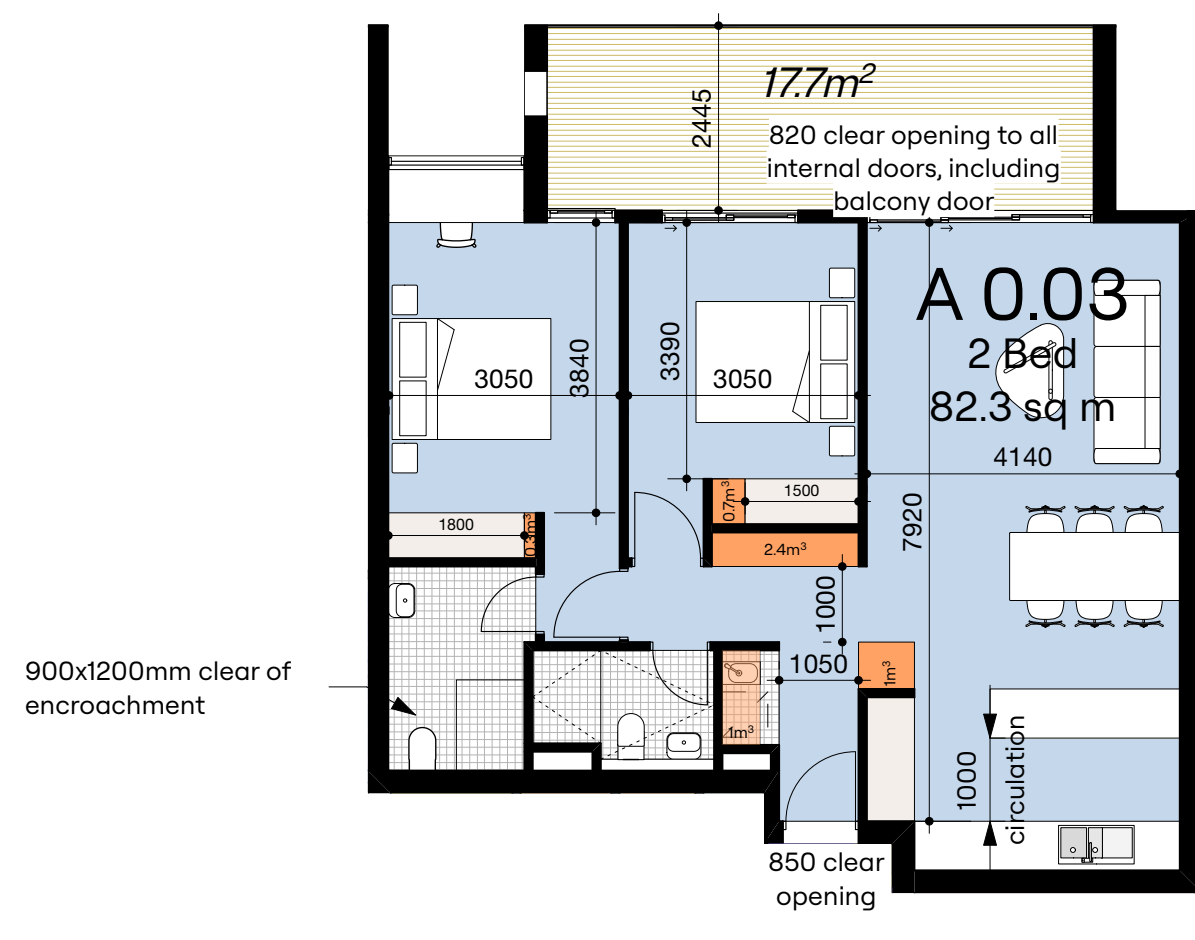




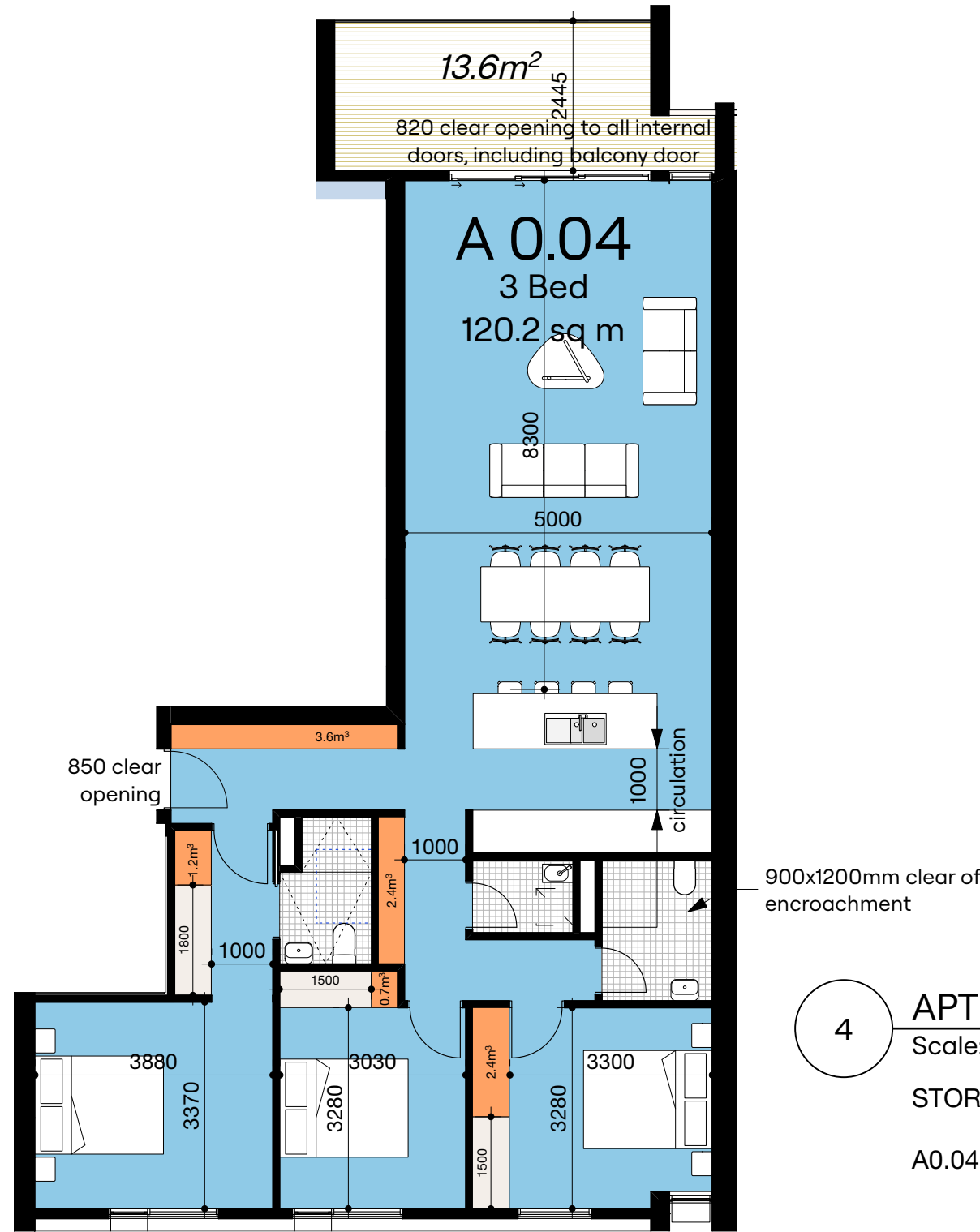
1 **APT A0.01, A1.01, A2.01**
Scale: 1:100
STORAGE 4.8m³ within apartment
+ basement
A0.01 (GF) Silver Level Design
+ street address



2 **APT A0.02, A1.02, A2.02, A3.02 - ADAPTABLE**
Scale: 1:100
STORAGE 6.4m³ within apartment
+ basement
A0.02 (GF) + additional 13m²
private open space



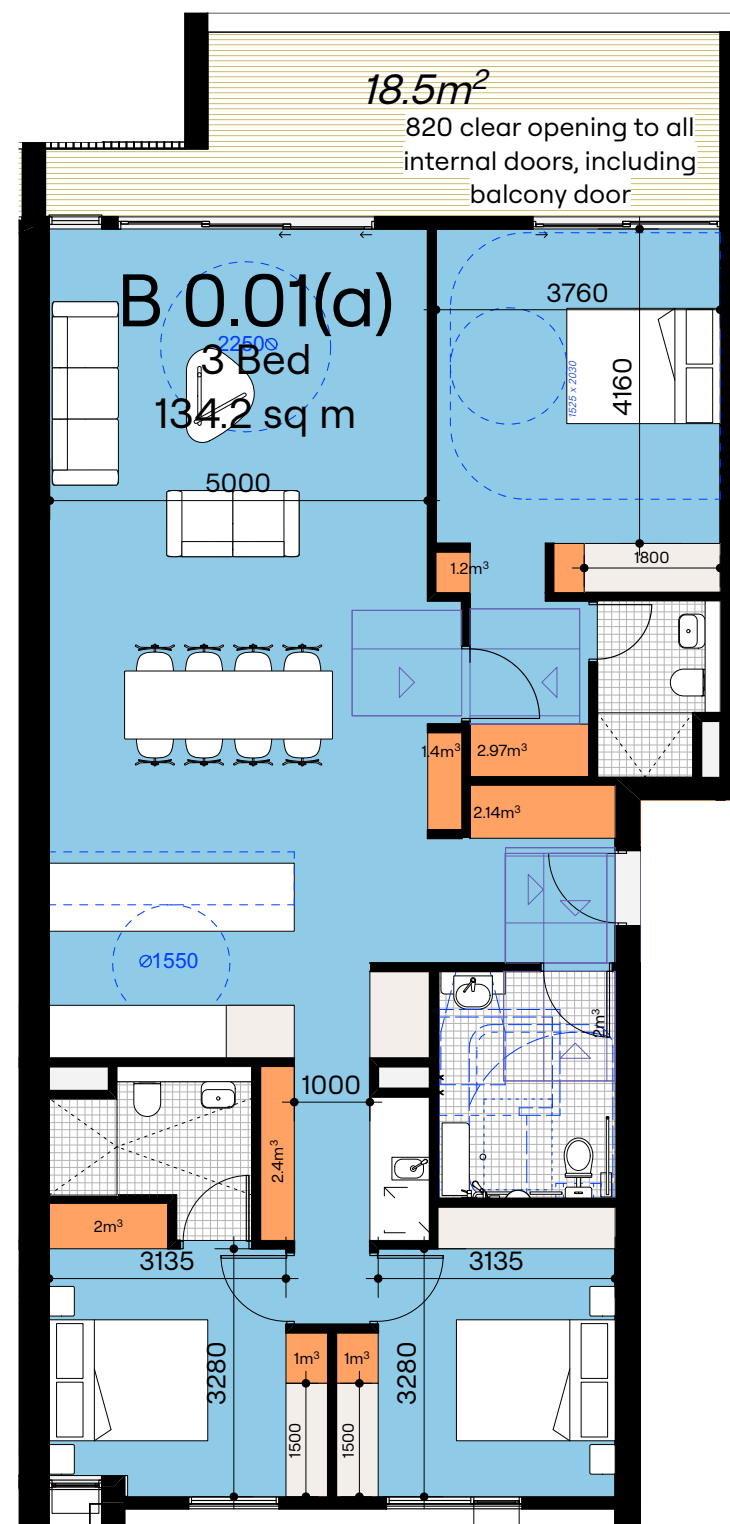
3 **APT A0.03, A1.03, A2.03, A3.03**
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STORAGE 5.4m³ within apartment
+ basement
A0.03 (GF) Silver Level
+ additional 24m²
private open space



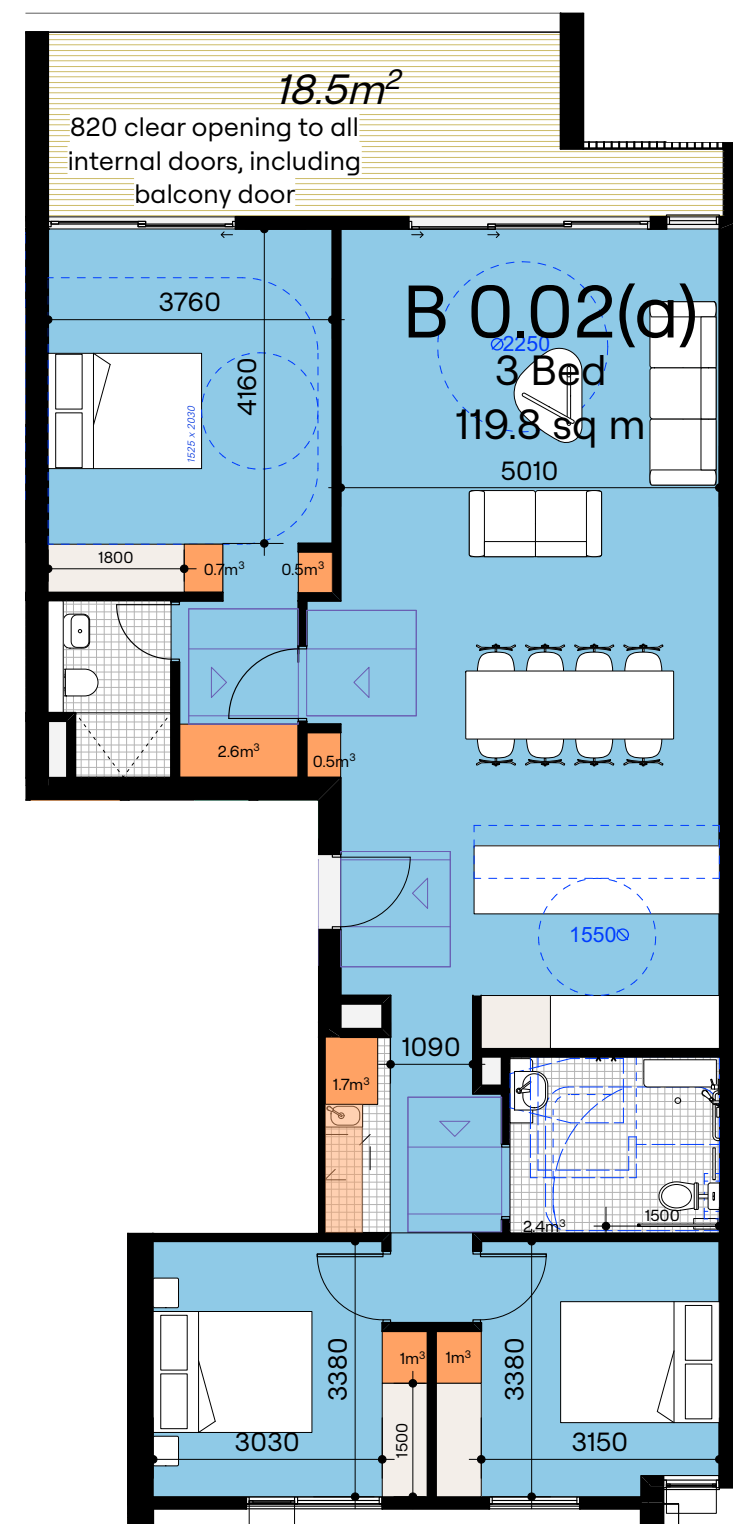
4 **APT A0.04, A1.04, A2.04, A3.04**
Scale: 1:100
STORAGE 10.3m³ within apartment
A0.04 (GF) Silver Level
+ additional 15m²
private open space



10 **APT A3.01**
Scale: 1:100
STORAGE 12.7m³ within apartment



8 **APT B0.01, B1.01, B2.01, 3.01 - ADAPTABLE**
Scale: 1:100
STORAGE 14.1m³ within apartment



9 **APT B0.02, B1.02, B2.02, 3.02 - ADAPTABLE**
Scale: 1:100
STORAGE 8.0m³ within apartment

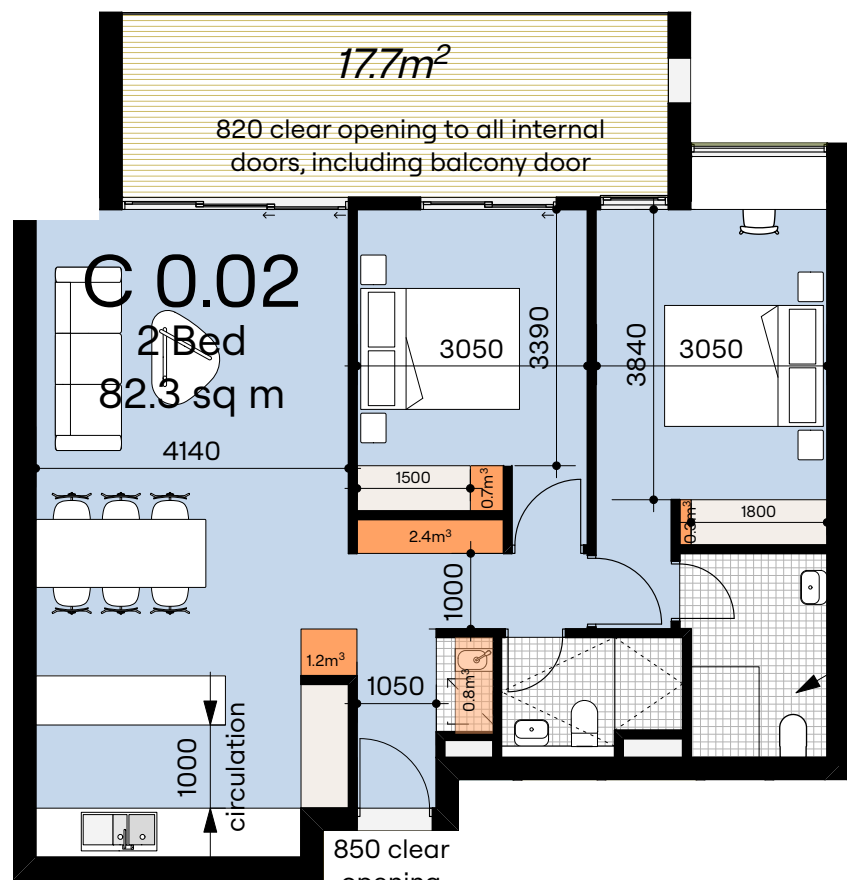
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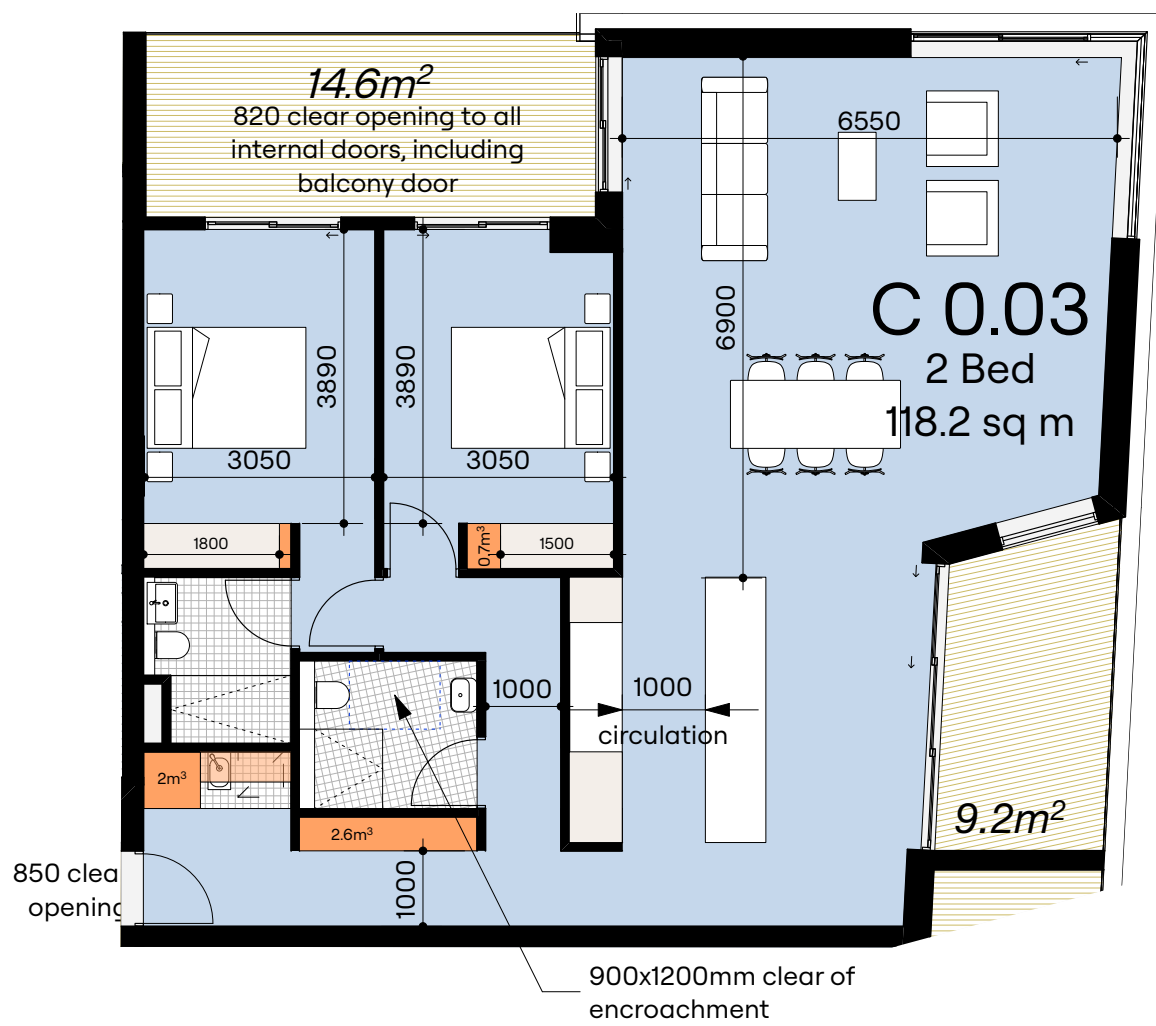
STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Enscope Studio www.enscapestudio.com.au	GEO TECH			REV/ DATE	BY	AMENDMENTS	ARCHITECT <h1>Hill Thalys</h1> Architecture + Urban Projects Godsall Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9271 6276 www.hillthalys.com.au Philip Thalys ARB #6780 Sarah Hill ARB #5285 Nominated Architects	PROJECT 11 Jennifer St Little Bay NSW 2036 CLIENT Urban Property Group	DRAWING Apartment Layouts – Core A + B			
								A 28/5/2024	AR	Amending Development Application			DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	JOB NO 22.27
								B 2/8/2024	BS	Revision to Amending Development Application						
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1 **APT C0.01, C1.01, C2.01, C3.01**
Scale: 1:100
STORAGE 11.6m³ within apartment
C0.01 (GF) Silver Level Design
+ additional 12m² private open space



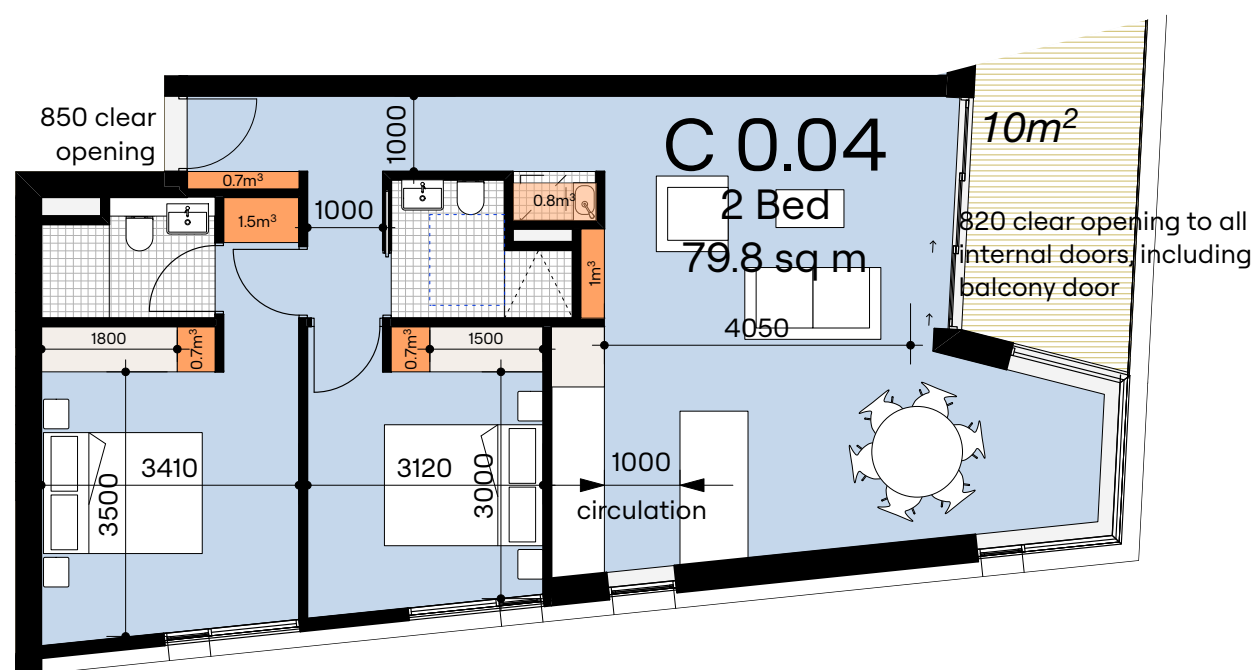
2 **APT C0.02, C1.02, C2.02, C3.02**
Scale: 1:100
STORAGE 5.4m³ within apartment
+ *basement*
C0.02 (GF) Silver Level Design
+ additional 24m² private open space



3 **APT C0.03, C1.03, C2.03**
Scale: 1:100
STORAGE 5.3m³ within apartment
+ *basement*
C0.03 (GF) Silver Level Design
+ additional 12m² private open space



5 **APT C3.03**
Scale: 1:100
STORAGE 13.7m³ within apartment



4 **APT C0.04, C1.04, C2.04**
Scale: 1:100
STORAGE 5.4m³ within apartment
+ *basement*
C0.04 (GF) Silver Level Design

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Sydney NSW 2000

SURVEYOR
RGM Property Surveys
Suite 402, 49 Queens Road
Five Dock NSW 2046

REV **DATE** **BY** **AMENDMENTS**
A 28/5/2024 AR Amending Development Application
B 2/8/2024 BS Revision to Amending Development Application

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Sarah Hill ARB #6285
Nominated Architects

PROJECT
11 Jennifer St
Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE
AMENDING
DEVELOPMENT APPLICATION

DRAWING
Apartment Layouts - Core C

DRAWN **CHECKED** **PLOT DATE** **JOB NO**
AR PT 1/8/2024 22.27

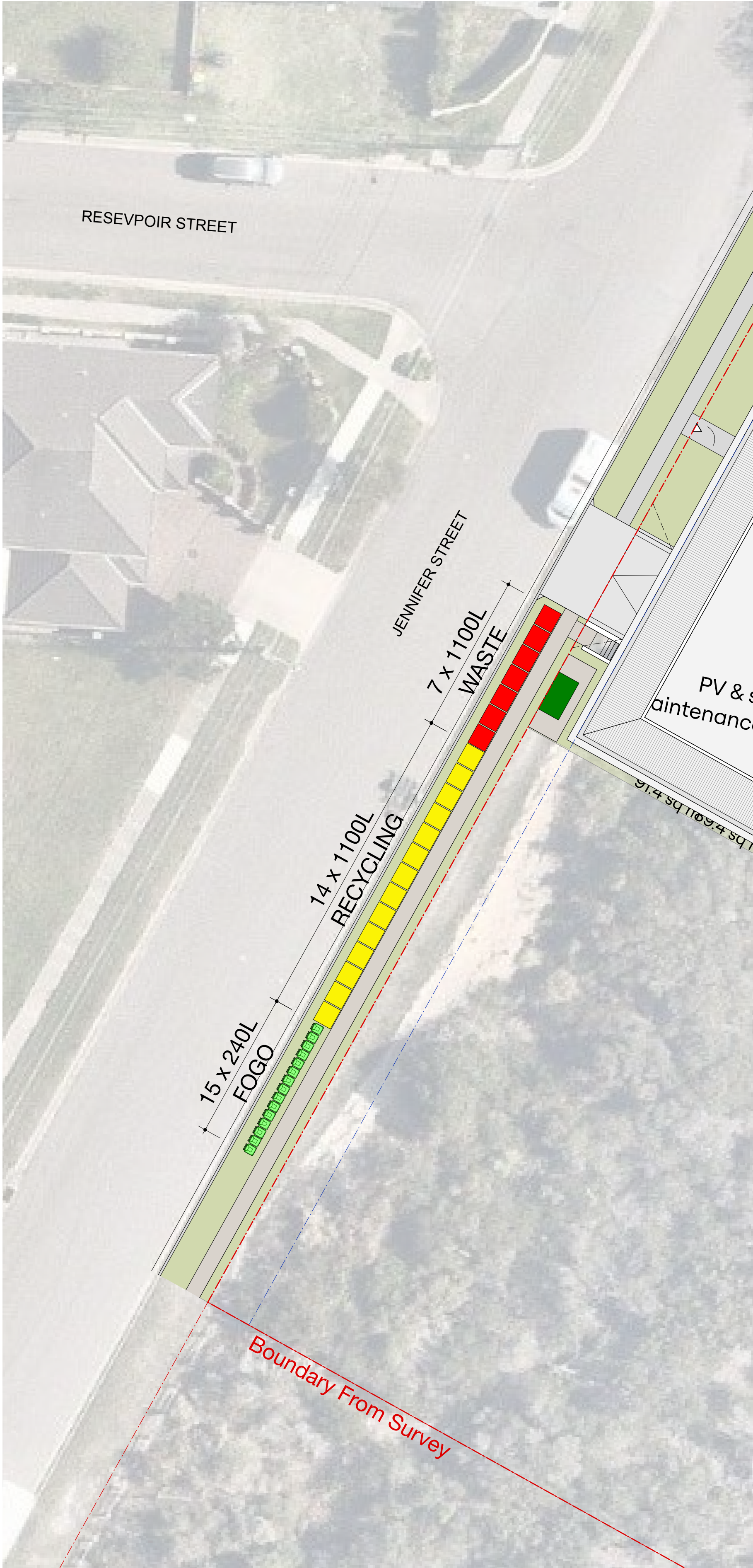
SCALE **DRAWING NO** **REV**
1:100 A 2.027 B



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28/5/2024

1 Site Plan
Scale: 1:500

DEVELOPMENT APPLICATION
489/2024
Randwick City Council
11 June 2024
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2 Bin Collection Plan
Scale: 1:200

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REV	DATE	BY	AMENDMENTS
A	28/5/2024	AR	Amending Development Application

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Nominated Architects

PROJECT 11 Jennifer St Little Bay NSW 2036	CLIENT Urban Property Group
PACKAGE AMENDING DEVELOPMENT APPLICATION	

DRAWING Site Plan			
DRAWN AR	CHECKED PT	PLOT DATE 28/5/2024	JOB NO 22.27
SCALE Varies	DRAWING NO A 2.100	REV A	

LEGEND

- B** - Bike Parking
CR - Concrete finish
CW - Cold Water
G - Garbage room
HW - Hot Water
LA - Landscape area to Landscape Architect's design
LB - Letterboxes
M - Motorbike parking
MF - Metal fence
MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements

 Storage Cages

VEHICLE METRICS *(based on 98 apartments)*

Residential car spaces	=	130 (including 20 accessible spaces)
Visitor car spaces	=	25
Motorbike spaces	=	8
Residential Bicycle	=	49
Visitor Bicycle	=	10 visitor spaces on ground floor

Boundary 80m from survey

Boundary 113.8195m from survey

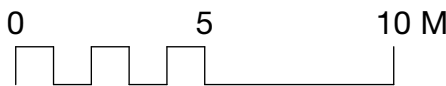
Boundary 110.775m from survey


1

Lower Basement Level Floor Plan
Scale: 1:200

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DEVELOPMENT APPLICATION
489/2024
Randwick City Council
11 June 2024
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	<div><div>HYDRAULIC</div><div>neuron www.neuron.build</div></div>	<div><div>ACCESS</div></div>	<div><div>TRAFFIC</div><div>TTM Suit 701, 12-14 Marine Pde Southport QLD 4215</div></div>	<div><div>BCA</div><div>Mckenzie Group L 6 189 Kent St Sydney 2000 NSW</div></div>	<div><div>LANDSCAPE</div><div>Turf 35 Wellington Street Chippendale NSW 2008</div></div>	<div><div>ENVIRONMENTAL</div><div>E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000</div></div>	<div><div>SURVEYOR</div><div>RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046</div></div>		<div><div>CLIENT</div><div>Urban Property Group</div></div>	<div><div>DRAWN</div><div>AR</div></div>	<div><div>CHECKED</div><div>PT</div></div>	<div><div>PLOT DATE</div><div>28/5/2024</div></div>	<div><div>JOB NO</div><div>22.27</div></div>
									<div><div>PACKAGE</div><div>AMENDING DEVELOPMENT APPLICATION</div></div>	<div><div>SCALE</div><div>1:200</div></div>	<div><div>DRAWING NO</div><div>A 2.108</div></div>	<div><div>REV</div><div>A</div></div>	

LEGEND

- B - Bike Parking
CR - Concrete finish
CW - Cold Water
G - Garbage room
HW - Hot Water
LA - Landscape area to Landscape Architect's design
LB - Letterboxes
M - Motorbike parking
MF - Metal fence
MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements

Storage Cages

VEHICLE METRICS (based on 98 apartments)

- Residential car spaces = 127 (including 20 accessible spaces)
Visitor car spaces = 24
Motorbike spaces = 8
Residential Bicycle = 47
Visitor Bicycle = 10 visitor spaces on ground floor

Boundary 80m from survey

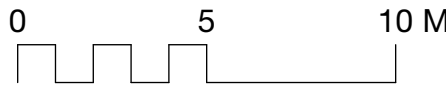
Boundary 113.8195m from survey

Boundary 110.775m from survey

FOR INFORMATION

Amendments:

1. Revise Residential Accommodation Schedule
2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
3. Increased vertical articulation zones to break up length of facade
4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
5. Increase setback to 2.5m.
6. Revise unit layout and riser location to accommodate Level 3 setback
7. Increase setback to Level 3
8. Openings in roof
9. Remove concrete hood over articulation zone
10. Shift canopy east and revise landscape for more privacy to Jennifer Street
11. Reduce eaves overhang
12. Reduce height of lift overrun.
13. Additional windows
14. Increased garbage bin rooms



1

Basement Level Floor Plan
Scale: 1:200

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A 28/5/2024 AR Amending Development Application
B 4/9/2024 AR Revision to Amending Development Application
C 11/9/2024 AR Revision to Amending Development Application

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PACKAGE
AMENDING
DEVELOPMENT APPLICATION

DRAWING
Basement Level Floor Plan

DRAWN AR CHECKED PT PLOT DATE 13/9/2024 JOB NO 22.27

SCALE 1:200 DRAWING NO A 2.109 REV C

LEGEND

- B - Bike Parking
CR - Concrete finish
CW - Cold Water
G - Garbage room
HW - Hot Water
LA - Landscape area to Landscape Architect's design
LB - Letterboxes
M - Motorbike parking
MF - Metal fence
MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements



St. Michael's Golf Club
Driving Range

Amendments:

1. Revise Residential Accommodation Schedule
2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
3. Increased vertical articulation zones to break up length of facade
4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
5. Increase setback to 2.5m.
6. Revise unit layout and riser location to accommodate Level 3 setback
7. Increase setback to Level 3
8. Openings in roof
9. Remove concrete hood over articulation zone
10. Shift canopy east and revise landscape for more privacy to Jennifer Street
11. Reduce eaves overhang
12. Reduce height of lift overrun.
13. Additional windows

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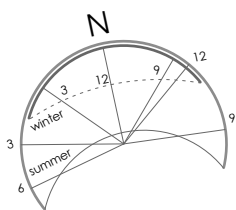
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																		PLOT DATE 1/8/2024	JOB NO 22.27
																		SCALE 1:200	REV B
																		DRAWING NO A 2.110	

LEGEND

- B - Bike Parking
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Sarah Hill ARB #6280
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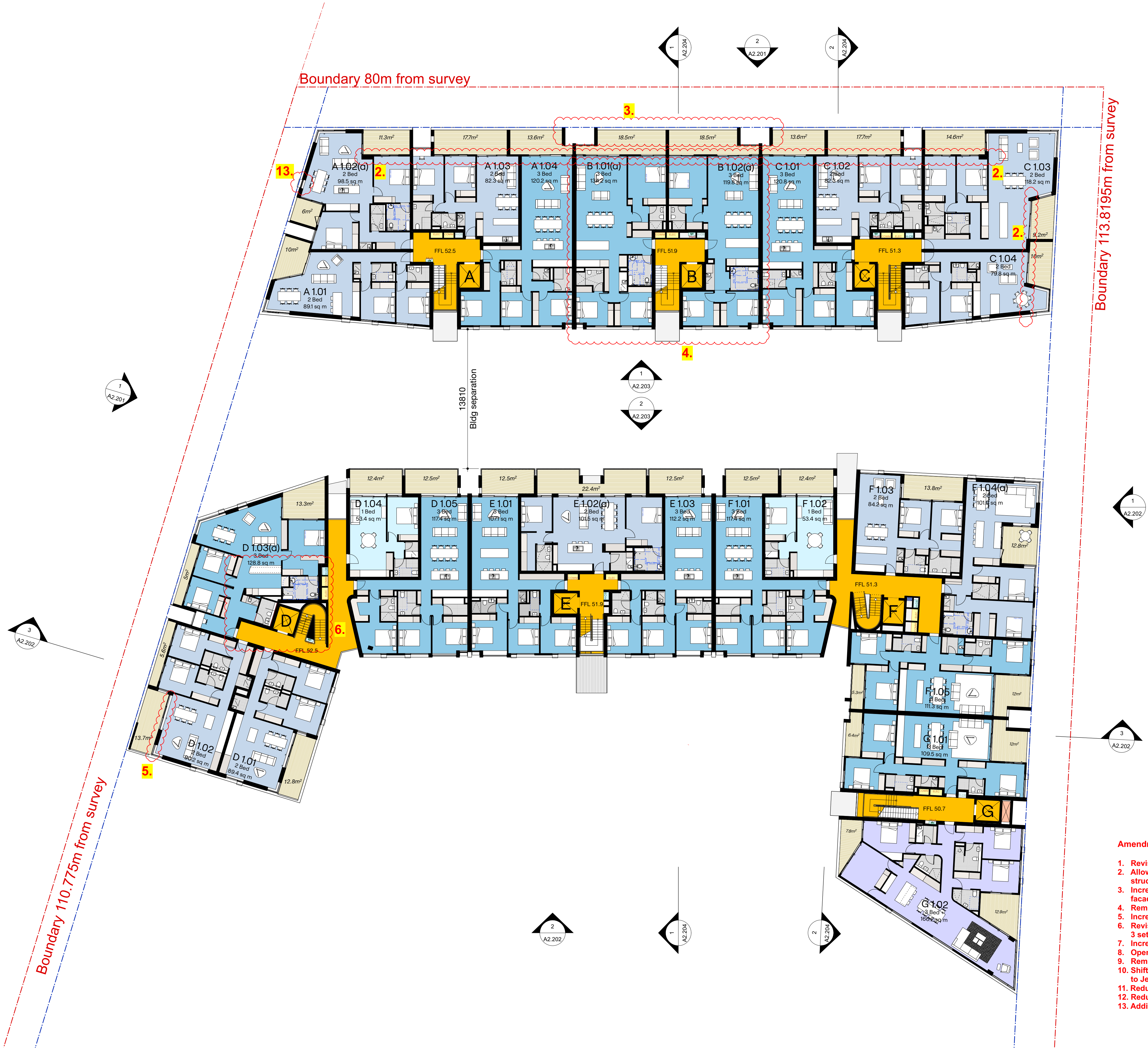
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PACKAGE
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DEVELOPMENT APPLICATION

DRAWING
Level 1 Floor Plan

DRAWN AR CHECKED PT PLOT DATE 1/8/2024 JOB NO 22.27

SCALE 1:200 DRAWING NO A 2.111 REV B



Amendments:

1. Revise Residential Accommodation Schedule
2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
3. Increased vertical articulation zones to break up length of facade
4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
5. Increase setback to 2.5m.
6. Revise unit layout and riser location to accommodate Level 3 setback
7. Increase setback to Level 3
8. Openings in roof
9. Remove concrete hood over articulation zone
10. Shift canopy east and revise landscape for more privacy to Jennifer Street
11. Reduce eaves overhang
12. Reduce height of lift overrun.
13. Additional windows

LEGEND

- B - Bike Parking
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MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements

Boundary 110.775m from survey

Boundary 80m from survey

Boundary 113.8195m from survey

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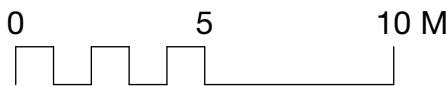
PROJECT
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PACKAGE
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DEVELOPMENT APPLICATION

DRAWING
Level 2 Floor Plan
DRAWN AR CHECKED PT PLOT DATE 1/8/2024 JOB NO 22.27
SCALE 1:200 DRAWING NO A 2.112 REV B

Amendments:

1. Revise Residential Accommodation Schedule
2. Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
3. Increased vertical articulation zones to break up length of facade
4. Remove 1 bed unit. Units B01 and B02 become 3 bed.
5. Increase setback to 2.5m.
6. Revise unit layout and riser location to accommodate Level 3 setback
7. Increase setback to Level 3
8. Openings in roof
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10. Shift canopy east and revise landscape for more privacy to Jennifer Street
11. Reduce eaves overhang
12. Reduce height of lift overrun.
13. Additional windows

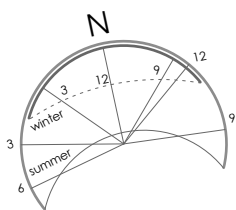


LEGEND

- B - Bike Parking
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CW - Cold Water
G - Garbage room
HW - Hot Water
LA - Landscape area to Landscape Architect's design
LB - Letterboxes
M - Motorbike parking
MF - Metal fence
MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements

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PROJECT
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Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE
AMENDING
DEVELOPMENT APPLICATION

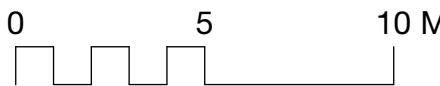
DRAWING
Level 3 Floor Plan

DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	JOB NO 22.27
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SCALE 1:200	DRAWING NO A 2.113	REV B
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Amendments:

- Revise Residential Accommodation Schedule
- Allowance for thickening of wall to accommodate new structural loads of level 3 and roof setback
- Increased vertical articulation zones to break up length of facade
- Remove 1 bed unit. Units B01 and B02 become 3 bed.
- Increase setback to 2.5m.
- Revise unit layout and riser location to accommodate Level 3 setback
- Increase setback to Level 3
- Openings in roof
- Remove concrete hood over articulation zone
- Shift canopy east and revise landscape for more privacy to Jennifer Street
- Reduce eaves overhang
- Reduce height of lift overrun.
- Additional windows



LEGEND

- B - Bike Parking
CR - Concrete finish
CW - Cold Water
G - Garbage room
HW - Hot Water
LA - Landscape area to Landscape Architect's design
LB - Letterboxes
M - Motorbike parking
MF - Metal fence
MG - Metal Gate
MRS - Metal Roof Sheet (light grey)
PV - Photovoltaic panels
RD - Garage Door
RS - Roof Structure
RWT - Rainwater tank
SS - Substation to Authority requirements



Amendments:

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13. Additional windows

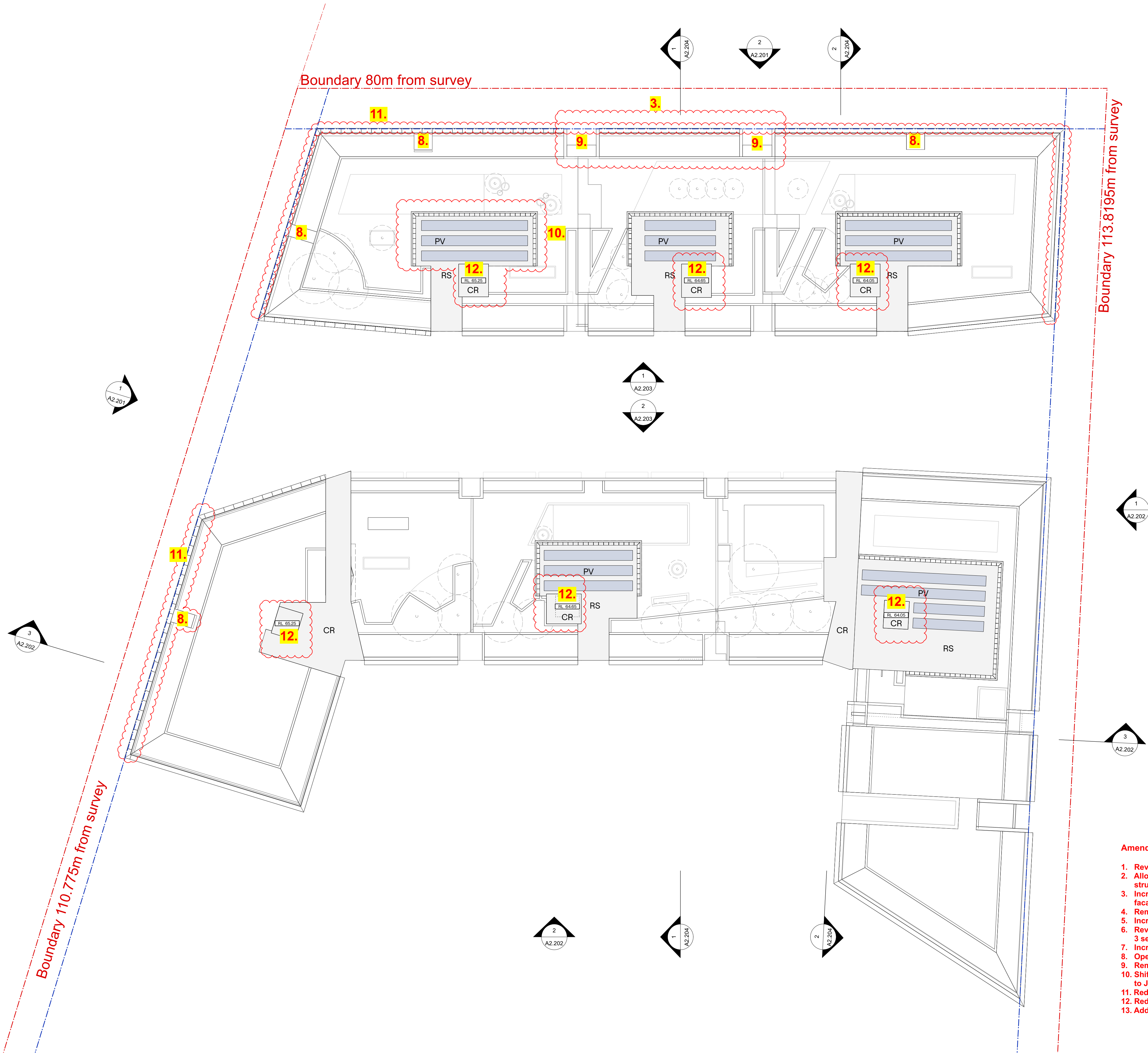
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APPLICATION ONLY -
02/08/24

STRUCTURAL Xavier Knight Level 7 / 210 Clarence StreetSydney NSW Australia	MECHANICAL neuron www.neuron.build	ELECTRICAL neuron www.neuron.build	FIRE SAFETY ENGINEER FEP www.fireep.com.au	CIVIL Escape Studio www.enscapestudio.com.au	GEO TECH			REV	DATE	BY	AMENDMENTS	ARCHITECT Hill Thalís Architecture + Urban Projects Godigal Lands Level 4, 15 Foster St, Surry Hills NSW 2010 +61 2 9271 6276 www.hillthalis.com.au Philip Thalís ARB #6780 Garah Hill ARB #6285 Nominated Architects	PROJECT 11 Jennifer St Little Bay NSW 2036 CLIENT Urban Property Group	DRAWING Roof Terrace Plan				
								B	2/8/2024	MR	Revision to Amending Development Application			PACKAGE AMENDING DEVELOPMENT APPLICATION	DRAWN	CHECKED	PLOT DATE	JOB NO
															AR	PT	1/8/2024	22.27
															SCALE	DRAWING NO	REV	
															1:200	A 2.114	B	
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Suite 402, 49 Corrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046												

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12. Reduce height of lift overrun.
13. Additional windows

1

Roof Plan
Scale: 1:200

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CIVIL
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GEO TECH

REV DATE BY AMENDMENTS
A 28/5/2024 AR Amending Development Application
B 2/8/2024 MR Revision to Amending Development Application

ARCHITECT
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Architecture + Urban Projects

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Sarah Hill ARB #6285
Nominated Architects

PROJECT
11 Jennifer St
Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE
AMENDING
DEVELOPMENT APPLICATION

DRAWING
Roof Plan

DRAWN
AR

CHECKED
PT

PLOT DATE
1/8/2024

JOB NO
22.27

SCALE
1:200

DRAWING NO
A 2.115

REV
B



1 Western Elevation - Jennifer Street
Scale: 1:200



2 Northern Elevation - Crown Road
Scale: 1:200

Amendments:

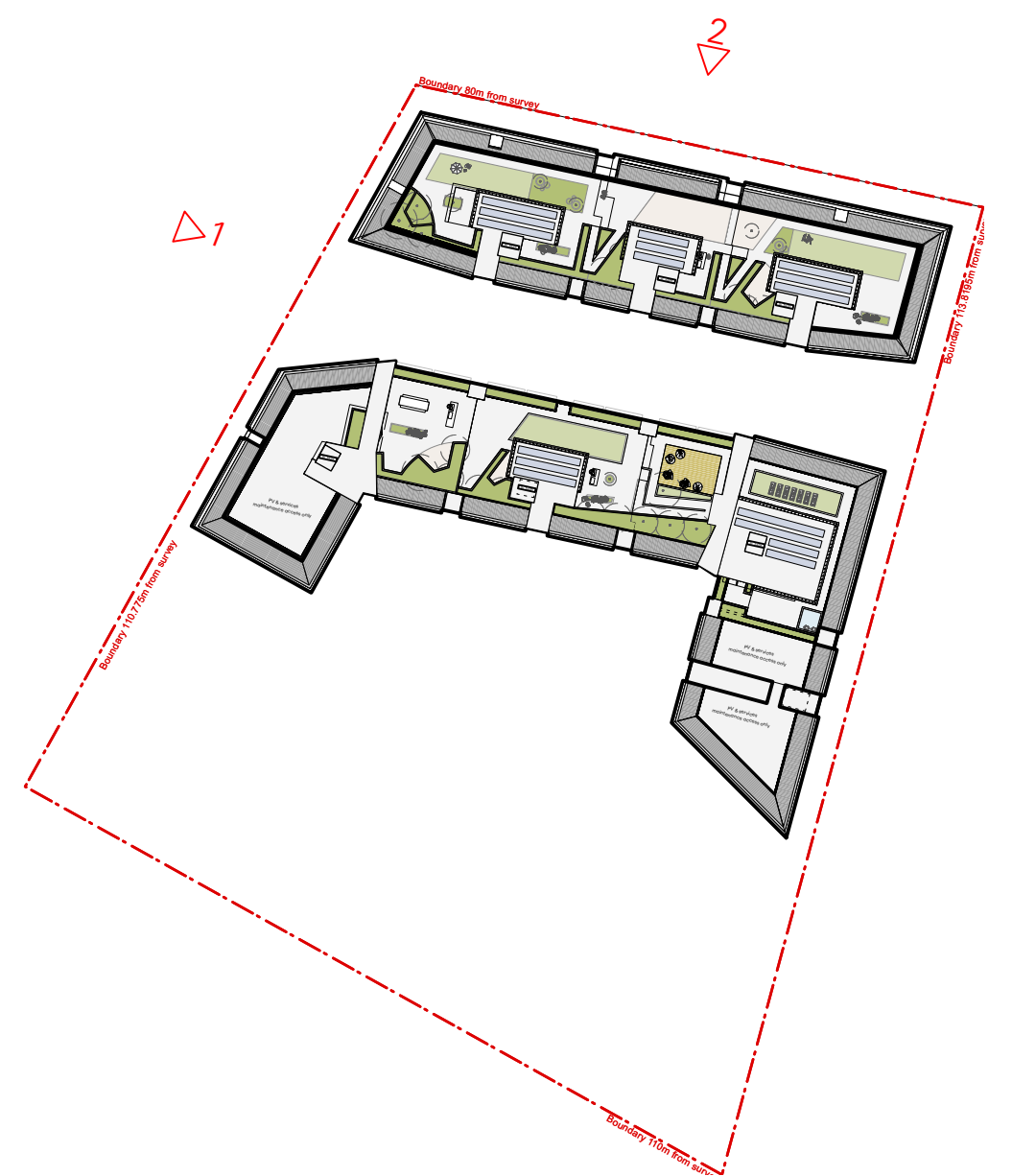
1. Revise Residential Accommodation Schedule
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13. Additional windows

LEGEND

- Concrete finish
- Metal Roof Sheet (light grey)
- Folded Metal projecting eaves
- Metal Cladding
- Metal Handrail
- Metal Handrail to roof
- Aluminium Framed Gazing - all doors & windows
- Solid Masonry Cladding (brick pattern)
- Metal Balustrade
- Glass Balustrade
- Foyer Wall Tiles
- Metal Fence / Gate - Ground Level
- Substation to Authority requirements
- Photovoltaic panels

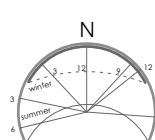
Outline of approved DA envelope

NOTE: Landscape is Indicative only. Refer to Landscape Architect plans



FOR DEVELOPEMENT
APPLICATION ONLY -
02/08/24

0 5 10 M



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GEO TECH

REVISIONS
A 28/5/2024 AR
B 02/8/2024 BS

AMENDMENTS
Amending Development Application
Revision to Amending Development Application

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Sarah Hill ARB #4285
Nominated Architects

PROJECT
11 Jennifer St
Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE
**AMENDING
DEVELOPMENT APPLICATION**

DRAWING
Elevations

DRAWN
AR

CHECKED
PT

PLOT DATE
1/8/2024

JOB NO
22.27

SCALE
1:200 @ A1

DRAWING NO
A 2.201

REV
B



1 Eastern Elevation - Golf Course
Scale: 1:200



2 Southern Elevation
Scale: 1:200



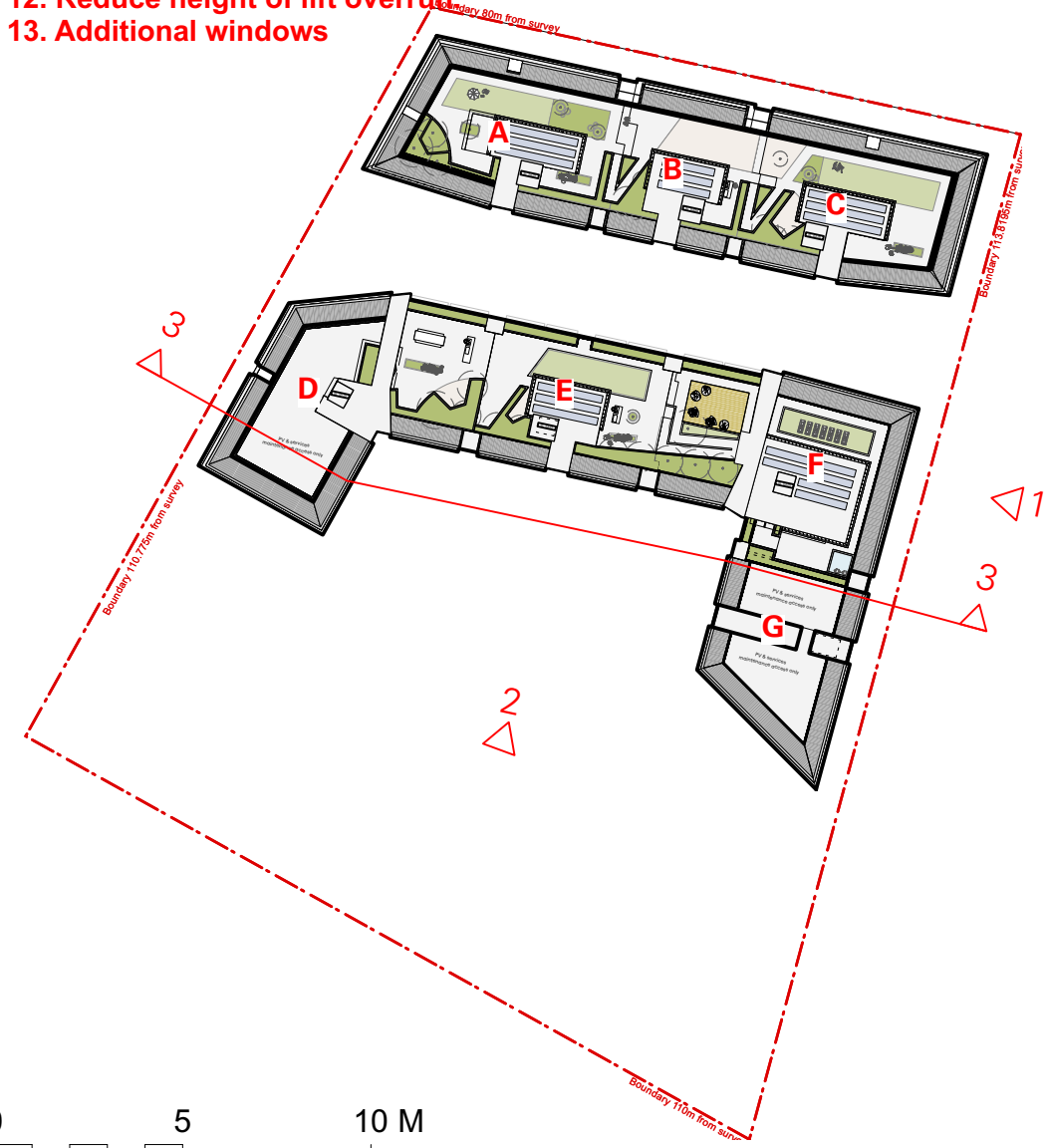
3 Southern Section - Buildings D + G
Scale: 1:200

LEGEND	
	Concrete finish
	Metal Roof Sheet (light grey)
	Folded Metal projecting eaves
	Metal Cladding
	Metal Handrail
	Metal Handrail to roof
	Aluminium Framed Gazing - all doors & windows
	Solid Masonry Cladding (brick pattern)
	Metal Balustrade
	Glass Balustrade
	Foyer Wall Tiles
	Metal Fence / Gate - Ground Level
	SS Substation to Authority requirements
	PV Photovoltaic panels
	Outline of approved DA envelope


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12. Reduce height of lift overrun
13. Additional windows

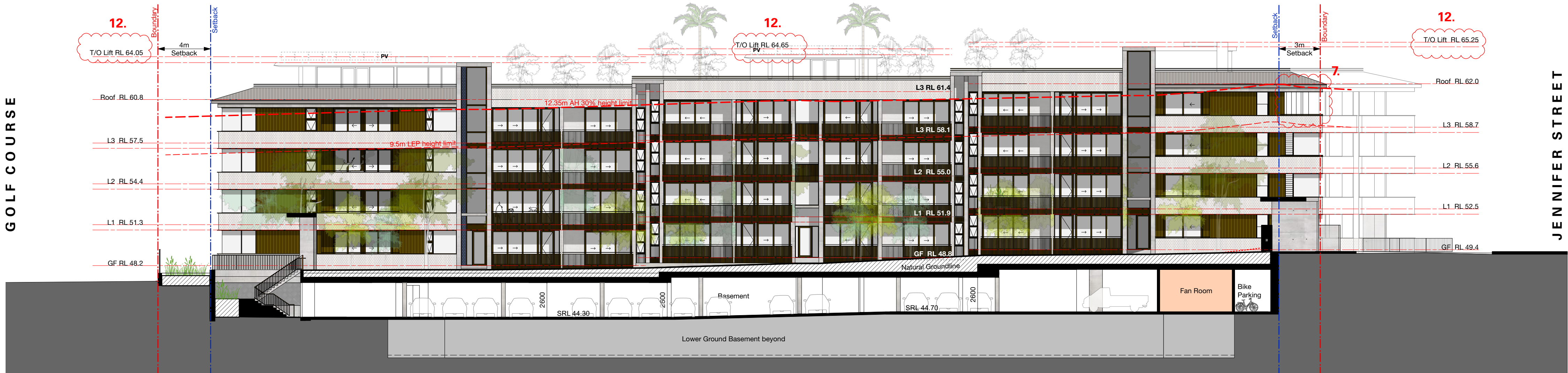


0 5 10 M

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	<div>HYDRAULIC</div> <div>neuron</div> <div>www.neuron.build</div>	<div>ACCESS</div>	<div>TRAFFIC</div> <div>TTM</div> <div>Suite 70112-14 Marine Pde,</div> <div>Southport QLD 4215</div>	<div>BCA</div> <div>Mckenzie Group</div> <div>L 6 189 Kent St</div> <div>Sydney 2000 NSW</div>	<div>LANDSCAPE</div> <div>Turf</div> <div>35 Wellington St</div> <div>Chippendale 2008 NSW</div>	<div>ENVIRONMENTAL</div> <div>E-Lab Consulting</div> <div>Level 11, 10 Carrington St</div> <div>Sydney NSW 2000</div>	<div>SURVEYOR</div> <div>RGM Property Surveys</div> <div>Suite 402, 49 Queens Road</div> <div>Five Dock NSW 2046</div>			<div>CLIENT</div> <div>Urban Property Group</div>	<div>DRAWN</div> <div>AR</div>	<div>CHECKED</div> <div>PT</div>	<div>PLOT DATE</div> <div>1/8/2024</div>	<div>JOB NO</div> <div>22.27</div>
	<div>PACKAGE</div> <div>AMENDING</div> <div>DEVELOPMENT APPLICATION</div>								<div>SCALE</div> <div>1:200 @ A1</div>	<div>DRAWING NO</div> <div>A 2.202</div>	<div>REV</div> <div>B</div>			



1 South Elevation - Building A, B, C, and Central Courtyard
Scale: 1:200



2 North Elevation - South Building, Central Courtyard
Scale: 1:200

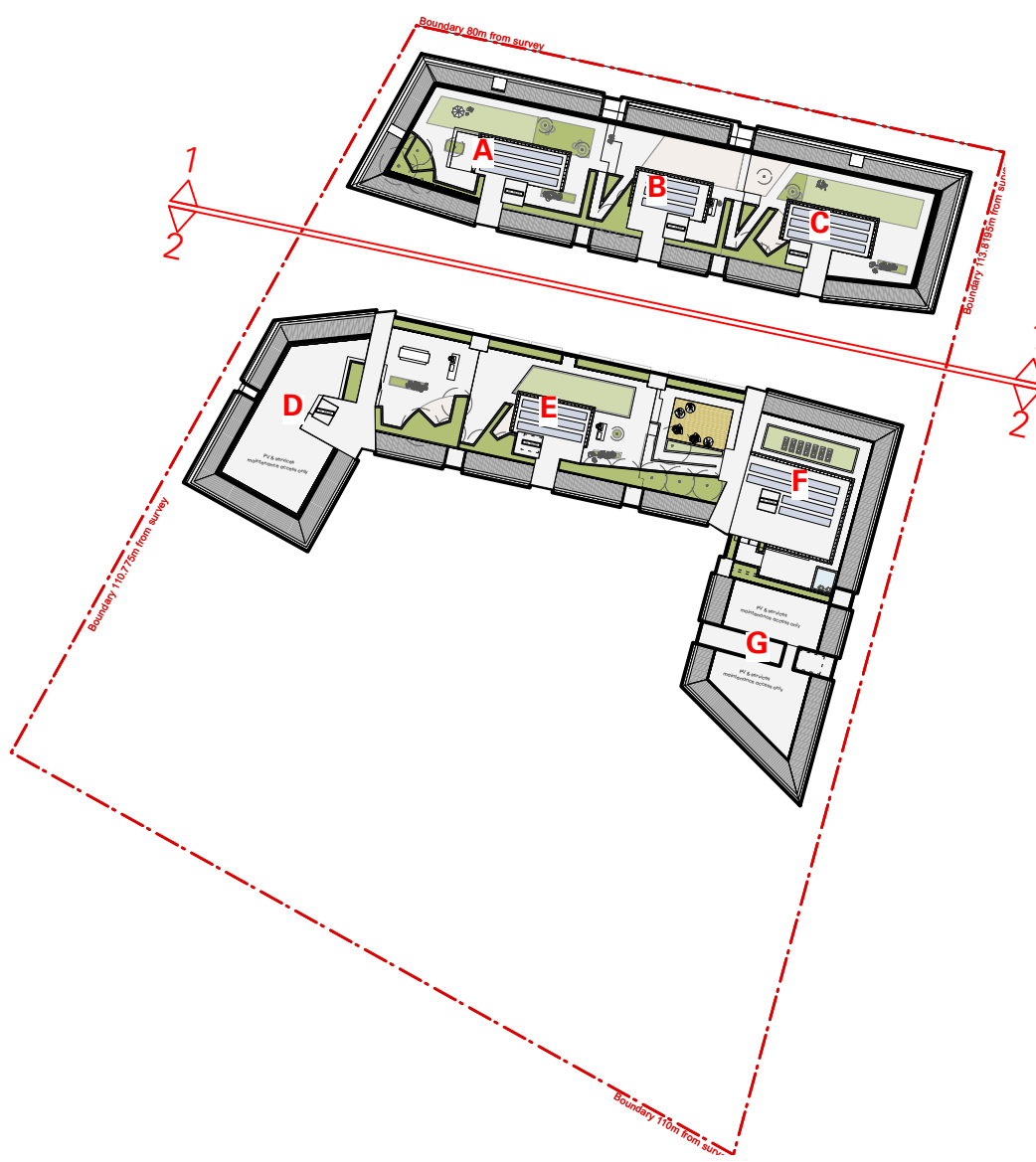
Amendments:

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12. Reduce height of lift overrun.
13. Additional windows

LEGEND

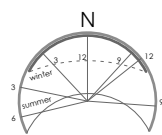
- Concrete finish
- Metal Roof Sheet (light grey)
- Folded Metal projecting eaves
- Metal Cladding
- Metal Handrail
- Metal Handrail to roof
- Aluminium Framed Gazing - all doors & windows
- Solid Masonry Cladding (brick pattern)
- Metal Balustrade
- Glass Balustrade
- Foyer Wall Tiles
- Metal Fence / Gate - Ground Level
- SS Substation to Authority requirements
- PV Photovoltaic panels

NOTE: Landscape is Indicative only. Refer to Landscape Architect plans



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GEO TECH

REVISIONS
A 28/5/2024 AR
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AMENDMENTS
Amending Development Application
Revision to Amending Development Application

ARCHITECT
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Architecture + Urban Projects

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Sarah Hill ARB #6285
Nominated Architects

PROJECT
11 Jennifer St
Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE
**AMENDING
DEVELOPMENT APPLICATION**

DRAWING
Elevation / Section

DRAWN
AR

CHECKED
PT

PLOT DATE
1/8/2024

JOB NO
22.27

SCALE
1:200 @ A1

DRAWING NO
A 2.203

REV
B



1 Section/Elevation Looking West
Scale: 1:200



2 Section/Elevation-Looking East
Scale: 1:200

Amendments:

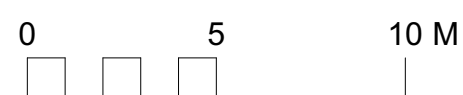
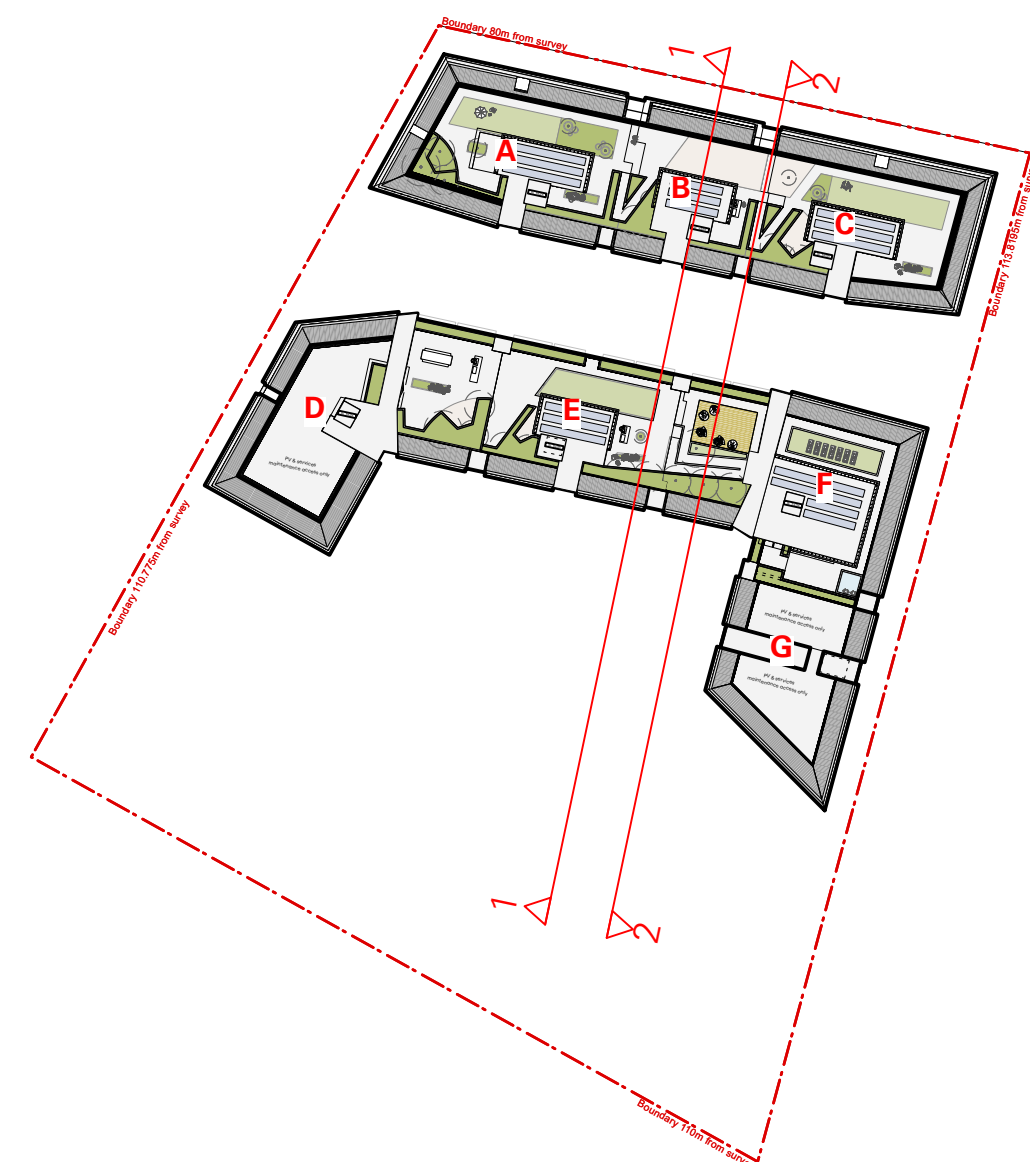
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13. Additional windows

LEGEND

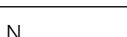
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- Substation to Authority requirements
- Photovoltaic panels

Outline of approved DA envelope

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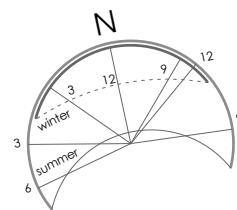


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	HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suites 701/12-14 Marine Pde, Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington St Chippendale 2008 NSW	ENVIRONMENTAL E-Lab Consulting Suite 402, 49 Queens Road Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046				CLIENT Urban Property Group	DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	JOB NO 22.27
	PACKAGE AMENDING DEVELOPMENT APPLICATION											SCALE 1:200 @ A1	DRAWING NO A 2.204	REV B	

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02/08/24

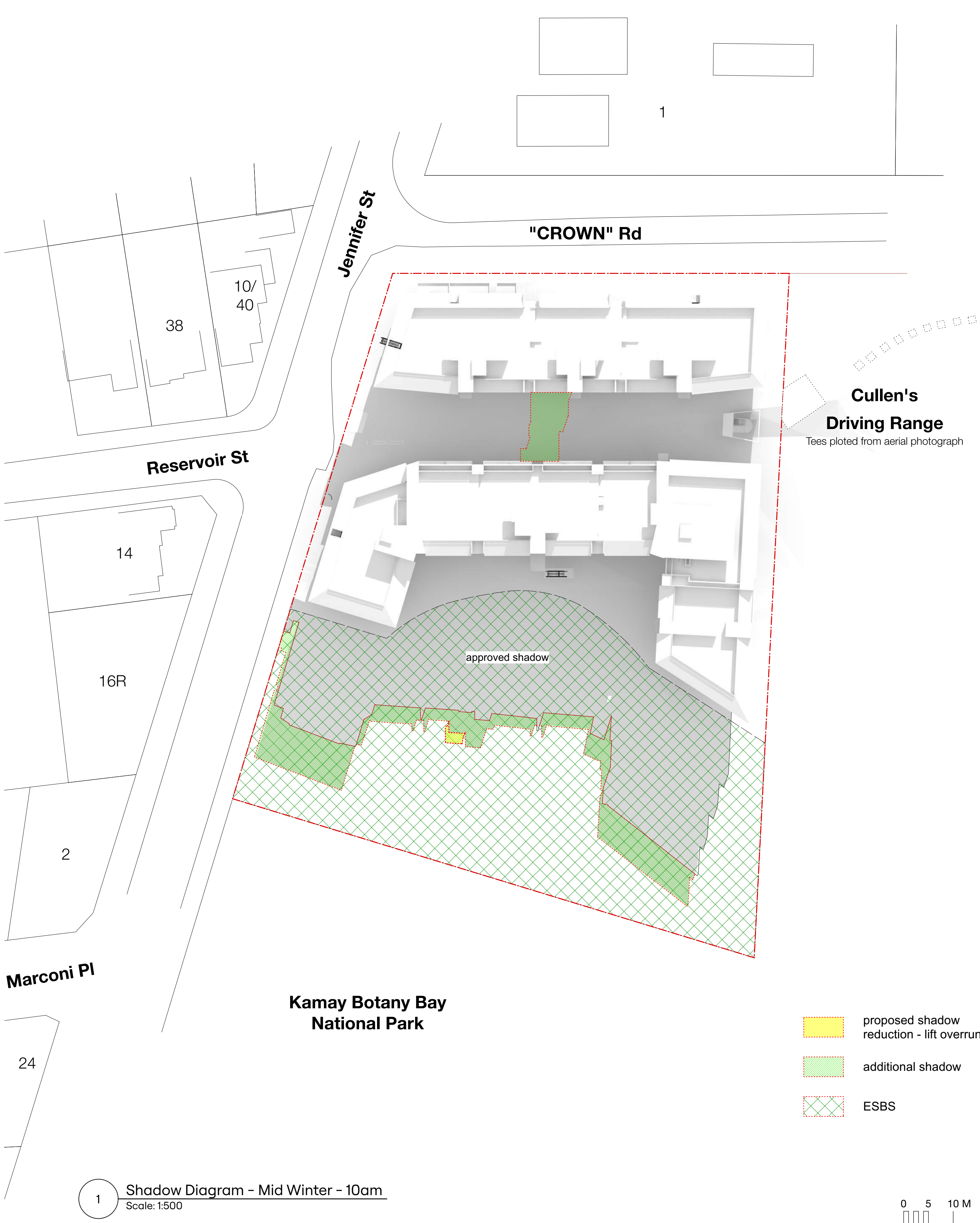
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									DRAWN AR	CHECKED PT	PLOT DATE 1/8/2024	JOB NO 22.27
HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suit 701, 12-14 Marine Pde Southport QLD 4215	BCA McKenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington Street Chippendale NSW 2008	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000			PACKAGE AMENDING DEVELOPMENT APPLICATION	SCALE NTS	DRAWING NO A 2.401		REV B





**FOR DEVELOPEMENT
APPLICATION ONLY –
02/08/24**

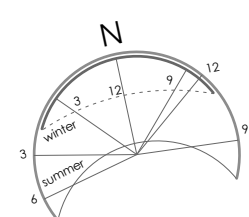
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REV	DATE	BY	AMENDMENTS
A	28/5/2024	AR	Amending Development Application
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ARCHITECT

Hill Thalís

Architecture + Urban Projects

PROJECT
11 Jennifer St
Little Bay NSW 2036

CLIENT
Urban Property Group

PACKAGE

**AMENDING
DEVELOPMENT APPLICATION**

DRAWING

Shadow Diagram

DRAWN	CHECKED	PLOT DATE	JOB NO
AR	PT	1/8/2024	22.27

SCALE	DRAWING NO	REV
NTS	A 2.403	B

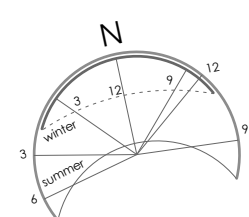
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Nominated Architects

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PACKAGE **AMENDING
DEVELOPMENT APPLICATION**

DRAWING

Shadow Diagram

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AR	PT	1/8/2024	22.27

SCALE	DRAWING NO	REV
NTS	A 2.404	B

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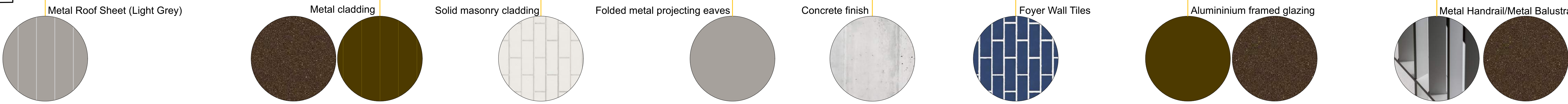
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DEVELOPMENT APPLICATION
489/2024
Randwick City Council
11 June 2024
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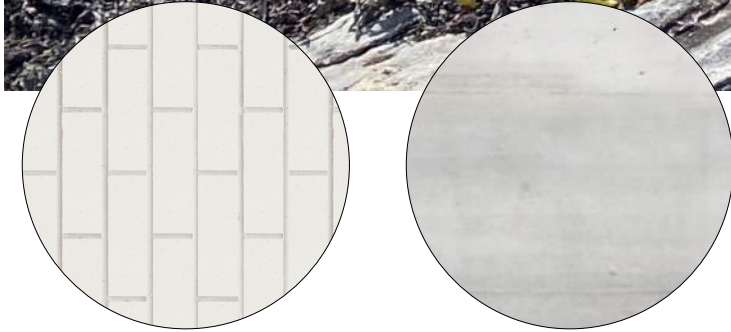
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HYDRAULIC neuron www.neuron.build	ACCESS	TRAFFIC TTM Suite 701/2-14 Marine Pde, Southport QLD 4215	BCA Mckenzie Group L 6 189 Kent St Sydney 2000 NSW	LANDSCAPE Turf 35 Wellington St Chippendale 2008 NSW	ENVIRONMENTAL E-Lab Consulting Level 11, 10 Carrington St Sydney NSW 2000	SURVEYOR RGM Property Surveys Suite 402, 49 Queens Road Five Dock NSW 2046			

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DRAWING Character Study - External Finishes			
DRAWN LH	CHECKED PT	PLOT DATE 28/5/2024	JOB NO 22.27
SCALE AS NOTED	DRAWING NO A 2.211	REV A	

Work with the horizontal lines of the Kamay sandstone geology and the horizon line

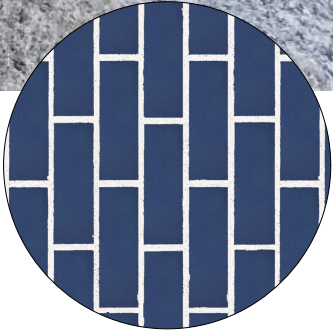


Light masonry
Chalky white/grey clifftop sands, miocenes, clouds + breaking surf

Generate a palette that blend and balance the proportions of the local landscape



Darker bronze tones
Subsurface sandstone steams + tannin stained inlets



Rich blue
Sky, water and horizon



Abstracted nautical imagery



Roof terraces
Reinforce a connection to the coastal view



Entry foyers
Abstracted lighthouses that guide the way

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